

	Building Consent File – Front Cover	Ref: TP 03 – FP 04
		Ver: 01
		Issued: 30 May 2007
		Doc No: IT-639924
		1 of 1

BC No. 30306 Valuation No. 07064/456.02
 Owner: Bell Property No. P29891
 Date Received: 9.8.5 CCC Date: 7.12.7

PROJECT DESCRIPTION / COMMENTS:	
Reside Org from Mt. Mangarua - BSA Western Co.	
 BC 16.9.05	
THIS BUILDING CONSENT RELATES TO BC No :	
V/xing \$2500 = O/dop \$400 =	
Refund Memo 12905 \$2900 = 11.12.7.	

NB: The inspection cards are kept with the inspection file in the Building Services offices.

Any pertinent information regarding inspections will be with this file and can be viewed during the hours of 8am – 4.30 pm week days.

LARGE PLANS HELD IN PLAN TUBE



11 December 2007

Please Quote: P29891

N.M Bell
PO Box 4580
MOUNT MAUNGANUI

Dear Sir/Madam

DAMAGE DEPOSIT AND/OR VEHICLE CROSSING DEPOSIT

Please find attached cheque for the sum of \$2900.00 being refund for the Vehicle Crossing and/or Damage Deposit.

This Deposit was paid on permit No: **30306**

Re: RESITE DWELLING FROM MOUNT MAUNGANUI – 85A WESTERN ROAD, ROTORUA.

If you have queries regarding this matter, please do not hesitate to contact me.
Yours truly,



Diane MacLeod
Administration - Building

Encl.

Rotorua District Council
1061 Haupapa Street
Private Bag 3029
Rotorua Mail Centre
Rotorua 3046
New Zealand
P: 07 348 4199
F: 07 346 3143
E: info@rdc.govt.nz
W: www.rdc.govt.nz

December 7, 2007

Mr N M Bell
P O Box 4580
MOUNT MAUNGANUI

ROTORUA

Dear Sir/Madam,

CODE OF COMPLIANCE CERTIFICATE
BUILDING CONSENT No: 30306

Please find attached your copy of the Code Compliance Certificate that has been issued in relation to the above Building Consent.

This is an important document and should be retained by you as it specifies the work carried out under the Consent has been completed and meets the requirements of the Building code supporting documents.

If in future you should desire to sell your property your solicitor may ask you to produce this Certificate to prove that your building complies with the Building code to the extent required by the above Building consent. A copy is also placed on your property file.

Yours faithfully


Diane MacLeod
Administration Officer – Building

Encl

DI' Fax (28/11) ✓
CCE to
04-3856399
+ post 7/12/17
Original DV

Code Compliance Certificate: 30306
Section 95, Building Act 2004

Issued: 07 DEC 2007



The Building

Property ID: 29891
Street Address: 85A WESTERN ROAD
Valuation number 07064 456 02
Legal Description:: LOT 4 DPS88642
Intended Use RES RES
Description of Work: COAL RANGE RETAINED, FIREPLACE REMOVED AND REPLACED WITH A DOOR.
RELOCATE COTTAGE 1 WC (EX MOUNT MAUNGANUI)

Rotorua District Council
1061 Haupapa Street
Private Bag 3029
Rotorua Mail Centre
Rotorua 3046
New Zealand
P: 07 348 4199
F: 07 346 3143
E: mail@rdc.govt.nz
W: www.rdc.govt.nz

The Owner

Name of Owner: BELL, MR NELSON MATTHEW
Contact Person: BELL, MR NELSON MATTHEW
Mailing Address: BELL, MR NELSON MATTHEW
23 BAIN STREET
MOUNT MAUNGANUI

Phone Number:

Facsimile Number:

Email Address:

Website:

First point of contact for communications with Council Building Consent Authority: RDC BUILDING SERVICES

Building Work

Building Consent no: 30306
Issued by: Rotorua District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

- (a) the building work complies with the building consent.

Council Charges

The Council's total charges payable on the uplifting of this code compliance certificate in accordance with the attached details are:

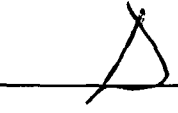
\$0.00

This is a final code compliance certificate issued in respect of all of the building work under the above building consent.

Signed for and on behalf of the Council:

Name: DmacI

Position: Building Administration

Signed: 

Date: 07 DEC 2007

BUILDING SERVICES

FIELD INSPECTION CARD

Application No:

30306

Date Consent Issued:

16.9.05

OWNER: <u>Bell</u>	BUILDER:
Phone: <u>07 574 5800</u>	Phone:
SITE: <u>85A Western Rd</u>	PLUMBER:
VALUATION NO: <u>07064/456.00</u>	Phone: <u>Vixing + Dep</u>
FILE NO: <u>P29891</u>	DRAINLAYER: <u>\$2900</u>
	Phone:
LEGAL DESCRIPTION: Lot/Sec: <u>4</u> DPS/Bk: <u>8864</u>	

DESCRIPTION OF PROPOSED WORK:

\$20000-

Resite dwg from Mt Maunganui

DATE	INSPECTION REPORTS	TIME
7/10/05	First visit. Pile layout as engineers drawing. 3 Anchor Piles as scheme drawing. Piles to be bearing building sitting on planar site. Anchor to be called next visit	30
11/11/05	D/P to soakage PVC 100mm drainage on water test holding good call to main sewerline OK to fill	
24/11/05	Semi-concrete to pile Bears joists. OK to continue	
20 AUG 2007	20/8/07 Final amended details still to finalize with procsiz. Outside completed and inside OK. Smoke alarm in bedroom a new door fits exactly in space chimney was in new framey was is required. Check resili report for condition. This build to come.	

AMENDED FLANG

RECEIVED

Document Set ID: 669109
Version: 1, Version Date: 15/09/2010

Rotorua District Council
1061 Haupapa Street
Private Bag 3029
Rotorua, New Zealand
P: 07 348 4199
F: 07 346 3143
E: mail@rdc.govt.nz
W: www.rdc.govt.nz

Project Information Memorandum No:30304

Section 34, Building Act 2004

Received:09Aug05

Issued:18Aug05

MR NELSON MATTHEW BELL
25 BAIN STREET
MOUNT MAUNGANUI 3002

MR NELSON MATTHEW BELL
25 BAIN STREET
MOUNT MAUNGANUI 3002

PROPERTY ID: 29891

STREET ADDRESS: 85A WESTERN ROAD, NGONGOTAHA, ROTORUA 3202

LEGAL DESCRIPTION: LOT 4 DPS 88642

PROJECT IS FOR: Resite Building

INTENDED USE(S): RELOCATE COTTAGE 1 WC (EX MOUNT MAUNGANUI)

INTENDED LIFE: Indefinite but not less than 50 years

VALUE OF WORK: \$20,000.00

NUMBER OF STAGES: 1

COUNCIL'S TOTAL CHARGES FOR THIS PROJECT INFORMATION MEMORANDUM
ARE: \$175.00.

PAYMENTS RECEIVED TO DATE:

Receipt number: 23505 Date: 04Aug05 Amount: \$175.00

Project Information Memorandum: 30304
See attached page(s) for any other conditions.

Page : 1

1: PIM STATUS

The proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any condition of the Building Consent.

2: SPECIAL FEATURES OF THE LAND

No building (or part of its structure) shall be constructed within an easement.

Refer to attached copy of DPS 88642 for detail on easements affecting this property.

3: PUBLIC UTILITIES/ROADING

The vehicle crossing, if not already complying, is to be installed prior to the building being occupied and must meet the requirements of Council's crossing bylaw, the Local Government Act and the Engineering Code of Practice.

4: PUBLIC UTILITIES - STORMWATER

The proposed building work is to be sited on land which the Council has identified in its records as being adjacent to a public stormwater system owned by Council.

5: WATER - URBAN SUPPLY

The proposed building work is to be sited on land which the Council has identified in its records as being connected to a Public Water Supply administered by the Council and As Built connection details are attached. (Services Plan).

6: SEWERAGE

The proposed building work is to be sited on land which the Council has identified in its records as having a connection to a Public Sewerage System administered by the Council and As Built connection details are attached (Services Plan).

7: VEHICLE CROSSINGS

The vehicle crossing shall comply with, and if necessary be upgraded to Council's RD 13 standards (attached). Note: If the vehicle crossing requires upgrading, a Road Opening Application (attached) is required to be completed and returned to Resource Engineers for approval prior to the commencement of works on the crossing. Turn around time will be 15 working days and there is no charge associated with this. Plans in triplicate showing the location of the works will also be required.

8: PERMITTED ACTIVITY

The proposed building work is a Permitted Activity under the Rotorua District Plan. No Resource Consent is required.

9: PERFORMANCE STANDARDS

The activity is permitted subject to compliance with the performance standards and requirements of the Residential B zone.

10: COMPULSORY PLANNING STATEMENTS

The District Plan does not indicate any proposed road widening, proposed service lane, designations, scheduled sites or protected historic buildings, sites or trees on the land the building work is proposed.

The proposal is not a "development" as defined in the District Plan.

NATURAL GAS CORPORATION

For information regarding a proposed gas connection or the location of existing gas pipelines as they affect this property, please contact the Natural Gas Corporation. For any building work (as defined by Section (2) of the Building Act 1991) that will disturb over and around any gas pipeline or service and prior to the commencement of that work, the applicant shall be required to contact the gas centre for authorisation to proceed.

ELECTRICITY

Under the Electrical Supply Regulations 1976 it is an offence to erect any building or structure within certain prescribed distances of an overhead electrical line. To enquire about these restrictions, contact your local electricity distributor.

Signed for and on behalf of the Council:

Name: L Tetenburg Position: Administration - Building

Signed:  Date: 19/08/2005

Building Consent No:30306
Section 51, Building Act 2004

Issued:16Sep05

Rotorua District Council
1061 Haupapa Street
Private Bag 3029
Rotorua, New Zealand
P: 07 348 4199
F: 07 346 3143
E: mail@rdc.govt.nz
W: www.rdc.govt.nz

The Building

Street Address of building: 85A WESTERN ROAD, NGONGOTAHA, ROTORUA 3202
Legal Description of land where building is located:
LOT 4 DPS 88642
Building Name: PRIVATE RESIDENCE

The Owner

Name of owner: MR NELSON MATTHEW BELL
Mailing Address: 25 BAIN STREET
MOUNT MAUNGANUI 3002

Contact Person: MR NELSON MATTHEW BELL
Mailing Address: 25 BAIN STREET
MOUNT MAUNGANUI 3002

Street address/registered office: 85A WESTERN ROAD
NGONGOTAHA
ROTORUA 3202

Phone number: (Bus.)
(07) 5745822 (Pvt.)

Facsimile number:
Email address:
Website:

First point of contact for communications with council/building consent authority:

Building Work

The following building work is authorised by this consent:
Project: Resite Building
Intended Use: RELOCATE COTTAGE 1 WC (EX MOUNT MAUNGANUI)

This building consent is issued under section 51 of the Building Act 2004.
This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration,

demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

1: Notice to be given by owner or agent that building work is ready for inspection shall be given to the Rotorua District Council at least 1 (one) working day in advance of covering in any of the following work:

At the completion of the work authorised by this Building Consent.

Please arrange the booking of inspections and direct enquiries regarding this consent to the Building Services Department, phone (07) 348 4199.

✓ Excavation for foundations.

✓ Reinforcing steel for foundations.

N/A Prior to slab placement, hardfill, damp proofing (if required), reinforcement etc.

NA Plumbing work within any wall cavity, eg timber or blockwork.

✓ Bracing and fixing of subfloor framing members prior to subfloor cladding being fixed.

✓ The fixing of framing members prior to any lining being fixed.

✓ All foul water and stormwater drainage in ground before backfilling.

2: Hot Water Control

The hot water supply to sanitary fixtures used for personal hygiene is to be fitted with tempering valves or other approved devices to limit the water temperature to 55 C.

3: Code Compliance Certificate

The owner or agent shall as soon as practicable, advise the Rotorua District Council that all building work has been completed to the extent required by this Building Consent.

SECTION 93(2)(b)(i) BUILDING ACT 2004

The owner or agent must apply for a Code Compliance Certificate within 2 years after the date on which the Building Consent for the building work was granted.

4: Standard Conditions

This building consent is permission to undertake building work in accordance with the approved plans and specifications. All work must comply with the provisions of the Building Code. Any alterations from the original plans and specifications must have prior approval from the Building Control Manager.

Endorsement on Plans and Specifications form part of this approval.

If the work is not commenced within six months and/or reasonable progress has not been made within twelve months a written extension of time can be granted on application to the Council.

The owner of the property is responsible for the correct siting of buildings

or additions in relation to boundary pegs.

Any deficiency not specifically drawn to the attention of the builder or owner by the Building Officer shall not be deemed to have been approved.

The use is limited to that stated on the Building Consent. Any change of use would require a separate approval.

Plumbing and drainage work to be carried out by licensed tradesperson only.

5: Standard Statement

THIS BUILDING CONSENT IS ISSUED SUBJECT TO ALL OTHER OUTSTANDING CONSENTS HAVING BEEN APPROVED. WORK SHALL NOT COMMENCE AND INSPECTIONS WILL NOT BE UNDERTAKEN UNTIL THOSE OUTSTANDING CONSENTS HAVE BEEN COMPLIED WITH.

A CODE COMPLIANCE CERTIFICATE MAY NOT BE ISSUED IF ALL FLASHINGS HAVE NOT BEEN INSPECTED PRIOR TO THE COVERING UP OR CLOSING IN OF BUILDING WORK.

SECTION 52 BUILDING ACT 2004 (LAPSE OF BUILDING CONSENT)

A Building Consent lapses and is of no effect if the building work to which it relates does not commence within 12 months of the date of issue unless prior arrangements are made with the Building Consent Authority

TYPE 1 DOMESTIC SMOKE ALARM SYSTEM - CLAUSE F7 WARNING SYSTEMS:

- * Requires that an appropriate means of detection and warning for fire must be provided within each household unit.

- * Smoke alarms shall be located on the escape routes on all levels within household units.

- * On all levels containing the sleeping spaces, the smoke alarms shall be located either:

- a) in every sleeping space; or

- b) within 3 metres of every sleeping space. In this case, the smoke alarms must be audible to sleeping occupants on the other side of closed doors.

These will be required on all new dwellings and retrospectively fitted in dwellings when, and if, a Building Consent for additions or alterations is applied for.

A CODE OF COMPLIANCE CERTIFICATE WILL NOT BE ISSUED UNTIL THE SMOKE ALARMS HAVE BEEN INSTALLED AND SEEN OPERATING.

Compliance Schedule

A compliance schedule is not required for the building.


Signature


ADMINISTRATION ASSISTANT

Position

On behalf of: ROTORUA DISTRICT COUNCIL

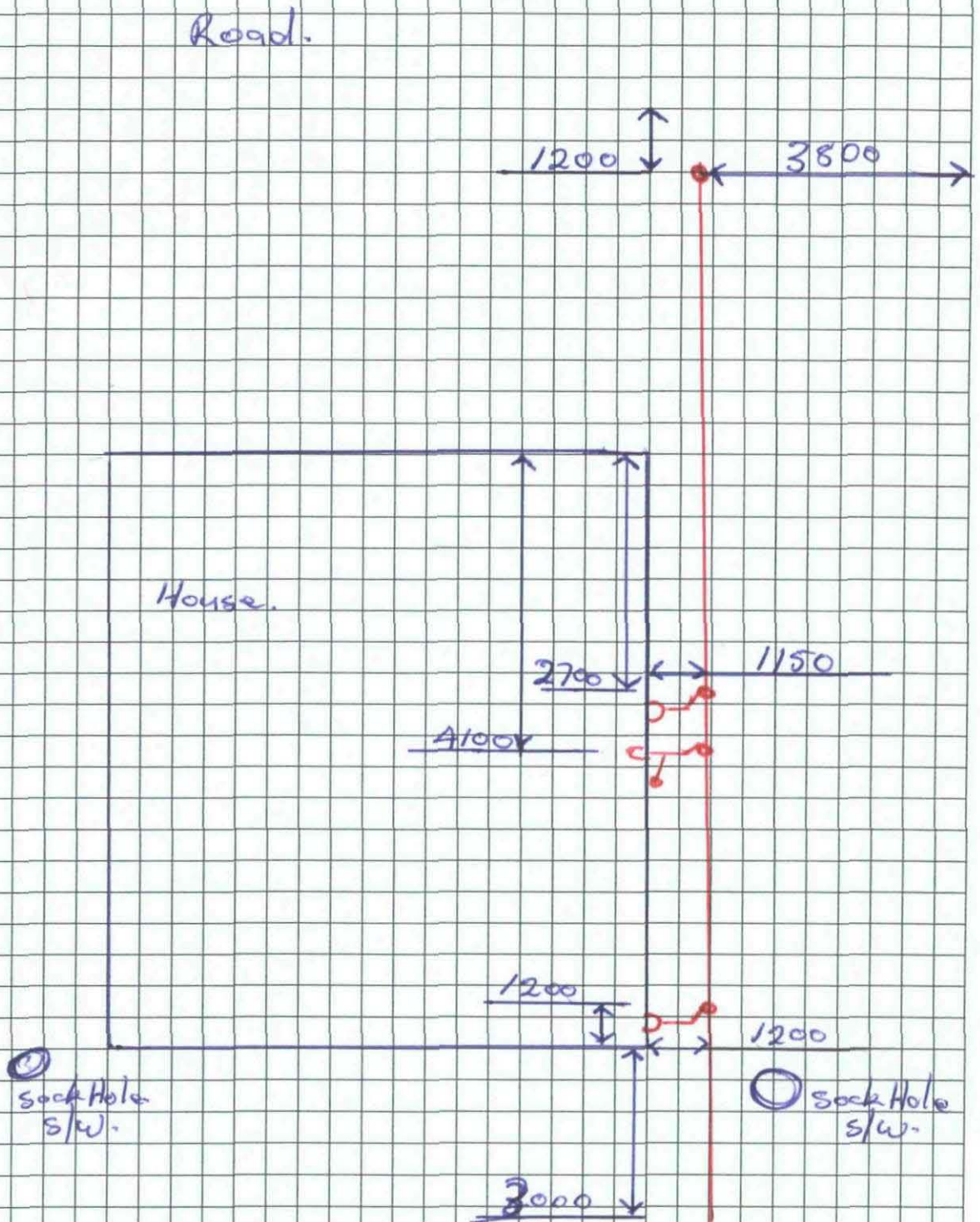
Date: 16 Sep 2005



ROTORUA DISTRICT COUNCIL
BUILDING SERVICES

AS-BUILT DRAINAGE PLAN

CONSENT NO: _____ P. _____
OWNER'S NAME: N J Bell
ADDRESS: 85A Western Rd Ngā
DRAINLAYER: m Long Ggs Plumbing
SIGNATURE: [Signature] DATE: 1-11-05





UNDERTAKING AS TO CORRECT SITING OF BUILDING

This form should be completed and available for collection by the Building Officer when the footing inspection is carried out.

Consent No: 30306

Valuation No: _____

Name: Bell

~~BUILDER~~ / OWNER [delete that which does not apply]

I hereby certify that I have checked that the building currently being constructed at 85A Western (address of property) is the correct distance from the legal site boundaries as per the building consent plans approved by Council.

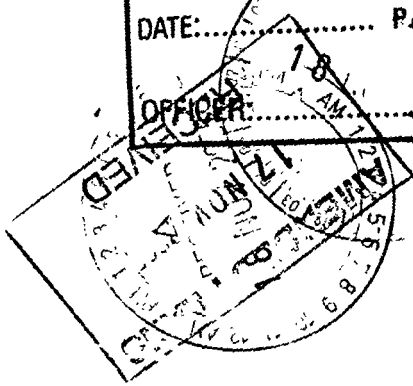
Signature: *[Signature]*

Date: 26th October 2005

PROJECT INFORMATION: RE.
ISSUED UNDER SECTION 32 (1)
BUILDING ACT 2004

DATE:..... P.M. NO:.....

OFFICER:.....



CONSENT COMPLIANCE ASSESSMENT FORM

BC NO.: 30306.

P. File No.: 29891.

Address: 85A Western Rd.

P = Pass, F = Fail, N/A = Not Applicable – Tick appropriate box

Ser	Item	P	F	N/A	Remarks
1	Work complies with the approved BC documentation (sect 94(1))	✓			
2	All the required inspections have been completed	✓			
3	BC conditions have been complied with	✓			
4	PIM requirements have been complied with	✓			
5	Damage deposit can be released	✓			
6	Crossing deposit can be released	✓			
7	All documents have BC number on them	✓			
8	Section 75–77 registered if applicable			/	
9	Section 72–74 registered on title if applicable			/	
10	Energy work certificate has been provided (if required) (section 94(3))				<i>To be provided.</i>
11	Specified systems are capable of performing in accordance with performance standards (section 94(1b))			/	
12	Is a compliance schedule required or requires amending? (Section 100(2))			✓	
13	Has there been a change of ownership (section 94(2))			/	
14	Any warnings or bans have been applied (section 94(2))			/	
15	Has the territorial authority received any certificates issued by licensed building practitioners that relate to restricted work? (Section 88(1) and (2))			/	
16	Check the territorial authority has been advised by a licensed building practitioner that building work carried out under a building consent does not comply with that consent. Note A building consent authority may not be aware if a territorial authority has been informed of non-complying work by a licensed building practitioner (section 89)			/	
17	Any amendments have been issued and whether documentation associated with these has been properly completed.			/	
Any outstanding documentation still to be collected such as:					
1	Photographs of elevations/check against elevations	✓			
2	Survey certificates – siting, height in relation to boundary, maximum height of building or minimum floor level			/	
3	Concrete strength			/	
4	Pile driving			/	
5	Foundation observation			/	
6	Ground conditions including compaction			/	

Ser	Item	P	F	N/A	Remarks
7	Waterproofing			/	
8	Structural reviews			/	
9	Site welding			/	
10	Electrical or gas energy work certificates			/	
11	Home heating (fires)			/	
12	Glazing			/	
13	Drainage	/			As built. Domestic.
14	Smoke alarms and sprinklers	/			
15	Emergency warning systems			/	
16	Fire doors			/	
17	Spread of flame			/	
18	Backflow			/	
19	Lifts (electrical and installation)			/	
20	Mechanical ventilation			/	
21	List of consultants			/	
22	Exterior plaster systems			/	
23	Producer Statements are correctly formatted?			/	
24	Form 6 received and complete	/			
25	Development Contribution Paid (suspend/note in screen if not)				} ?
26	Outstanding Fees paid				
27	Other				

Property file is requested from records and used as a reference when carrying out peer reviews – check elevations against photos.

NOTES

Waiting on electrical energy cert. received 7/12/07.
 Di: Fee check for any outstanding fees.

All information and documentation is present and correct. A Code Compliance Certificate can be issued providing all outstanding additional fees and/or development contribution has been paid (Team Leader or Manager Building Services).

Name: ED WICKINS

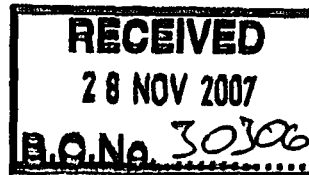
Signature: [Signature]

Date: 7/12/07

Date Received When satisfied all conditions of BC have been met, all supporting documentation & fees have been received (this is the date when the clock starts)
7/12/07.

Date Approved by TL or MBS Date approved by Team Leader or Manager Building Services
7/12/07.

Date Issued By AAB Date when Administration Assistant Building Issues CCC
7/12/07.



Form 6

APPLICATION FOR CODE COMPLIANCE CERTIFICATE

Section 92, Building Act 2004

THE BUILDING CONSENT

Building consent number: 30306 + 60587

Issued by [name of building consent authority that granted building consent]: Rotorua

*THE OWNER

Name of owner [include preferred form of address, eg, Mr, Miss, Dr, if an individual]:
Fairy Springs Trust

†Contact person: Nelson Bell

Mailing address: BX 4580
Mt Maunganui

Street address/registered office: _____

Phone number: Landline: 07 5745822 Mobile: 0274871128

Daytime: _____ After hours: _____

Facsimile number: _____

Email address: _____ Website: _____

The following evidence of ownership is attached to this application: [copy of certificate of title, lease, agreement for sale and purchase, or other document showing full name of legal owner(s) of the building]

‡AGENT

‡Name of agent [only required if application is being made on behalf of the owner]: _____

§Contact person: _____

Mailing address: _____

Street address/registered office: _____

Phone number: Landline: _____ Mobile: _____

Daytime: _____ After hours: _____

Facsimile number: _____

Email address: _____ Website: _____

Relationship to owner [state details of the authorisation from the owner to make the application on the owner's behalf]:

First point of contact for communications with the council/building consent authority [Contact details must be in NZ]:

Full name: _____

Mailing address: _____

Phone number(s): _____

Facsimile number(s): _____

Email address(es): _____

APPLICATION

All building work to be carried out under the above building consent was completed on: 30/8/07

The personnel who carried out the building work are as follows [list names, addresses, phone numbers, and (where relevant) registration numbers]:

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.
The code compliance certificate should be sent to [state which address, and whether owner or agent]:

Signature of owner/agent on behalf of and with the authority of the owner: _____

Name of person signing: Nelson Bell

Date: 30/8/07

ATTACHMENTS

The following documents are attached to this application:

- ☐ Certificates from the personnel who carried out the work
- ☐ Certificates that relate to the energy work
- ☐ Evidence that specified systems are capable of performing to the performance standards set out in the building consent

*Delete this section if details have not changed from the building consent.

†Delete if owner is an individual.

‡Delete this section if the application is not being made on behalf of the owner.

RECEIVED
29 NOV 2007
30306
B.C.No.



SSA Western Red Ngongolaka

\$

Bennett

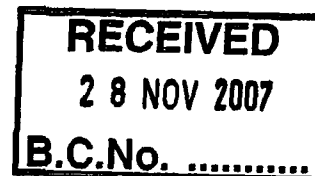
ELECTRICAL LTD

Send to: R.D.C.	From: ANDREW BENNETT
Attention: ED WILKINS	Date: 29/11/07
Fax Number:	

- ☐ Urgent
- ☐ Reply ASAP
- ☐ Please comment
- ☐ Please Review
- ☒ For your information

Total pages, including cover:

2

**Comments:**

ELECTRICAL C.O.C. AS REQUESTED

85A WESTERN RD

NAONGOTAHU

5/12/07.

This is not the cert
for dwelling fit out.
Phoned Andrew to advise
he will send/fax correct
cert.



RECARDS

ANDREW

PO Box 5011, Rotorua West
Mobile 027 4727 831 Fax/After Hours (07) 348-2504
Email bennettelectrical@tra.co.nz

ELECTRICAL WORKERS
REGISTRATION BOARD

Safety - Connections

Electrical Certificate of Compliance

EWRB 551

No **1938374**No. of attachments

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).
To be completed whether or not an inspection is required.

CUSTOMER INFORMATION - PLEASE PRINT CLEARLYName of customer **ABLE VENTURES**Phone: **027 427 102**Address of installation **25A WILSON RD, PUNAHIA, AUCKLAND**Postal address of customer (if not as above) **PO Box 4560, MT MAUNGARI****WORK DETAILS**☐ No. of lighting outlets☐ No. of ranges☐ No. of socket outlets☐ No. of water heaters

Please tick (✓) as appropriate where work includes:

☒ Mains☒ Main earthing system

Was any installation work carried out by the homeowner?

☐ Yes ☐ No☒ Switchboard☒ Electric linesDescription **new installation**

It is recommended that test results be recorded here:

Visual Examination ☒Earth Continuity ☒Bonding ☒Polarity ☒

Insulation Resistance _____ Mohm

Other **Loop test 0.332 P.S.C 704 Amps.**

***Carry out inspection on Mains**
***Route through to main switch**
on base board only

If necessary attach any pages with sketches of work done

CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

ELECTRICAL WORKER DETAILS

Name

Registration no.

Company

Signature

Date

Contact Ph No.

CERTIFICATION OF ELECTRIC LINES

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name

Registration no.

Company

Signature

Date

Contact Ph No.

INSPECTION DETAILS Electrical work requiring inspection by a registered electrical inspector☒ New mains☐ Switchboard☒ Earthing system☐ Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name

Signature

Registration no.

Date

Contact Ph No.

SCOTT GIBBONS**Scott Gibbons****12924****19-1-2006****027 231 7783**

This form is approved by the Electrical Workers Registration Board (PO Box 10-000, Wellington) for the purpose of the Electricity Regulations 1997.

FIELD INSPECTION COMPLIANCE

File No: P29891 Appln No: 30306
 Owner: Beil Contractor: _____
 Lot/Sec: 4 DPS/Bike: 88642
 Site Address: 85A Western Rd
 Proposed Work: Resite dug from Mt Manganui

- Please clearly define boundaries before calling for the first inspection.
- Building Consent documentation must be on site at all times.

Initial Inspection	First		Second		Complies	
	Owner	RDC	Owner	RDC	Owner	RDC
1. Site Formation						
2. Footings/Piles						
3. Bond Beams & Columns						
4. Under Floor Plumbing/Drainage						
5. Concrete Floor						
6. Pre-wrap (Wind ties & Ext Braces)						
7. Post-wrap (Weather tape, flashings & cavity battens)						
8. Half Height Bricks (Ties/Weep Holes)						
9. Pre-plaster (Stucco, Bricks, EIFS)						
10. Pre-lining (Moisture & Int Braces)						
11. Pre-lining (Plumbing/Drainage)						
12. Pre-lining (Insulation)						
13. Post-lining (Bracing - Fixing of Gib)						
14. Drain Test (Plumbing/Drainage)						
15. Solid Fuel Heaters						
16. Vehicle Crossing/Damage Deposit						
17. Other (Please Note)						
18. Final Inspection (All Work To Be Completed)						

Handwritten notes:
 24/11/05
 24/11/05

Handwritten notes:
 Cross & Plan Sign
 RDC

IMPORTANT

THIS CARD MUST BE PRODUCED ON THE SITE AT EVERY INSPECTION EITHER BY THE OWNER OR THEIR AGENT



Rotorua District Council
1061 Haupapa Street
Private Bag 3029
Rotorua, New Zealand
P: 07 348 4199
F: 07 346 3143
E: mail@rdc.govt.nz
W: www.rdc.govt.nz

As the holder of a Building Consent, the **OWNER** or their **AGENT** is required to:
(GIVE 24 HOURS NOTICE FOR ANY INSPECTION ON SITE)

- Footings - reinforcing steel to be in place. Pile excavations complete. No concrete to be poured.
Note: Boundary pegs should also be identified at this stage. (See 4 below).
- Under Floor Drainage - Drains exposed and water test on.
- Concrete Floor Slabs - When moisture barrier and steel is in place.
- Pre-wrap - Building framed, trusses on, all straps and braces installed.
- Wrap Inspection - Wrap around buildings - flashings prior to windows and window wrap. Cavity battens installed.
- Pre-lining Inspection 1 - When the structure is completely closed in and all bracing and straps are fitted.
- Pre-lining - Plumbing/Drainage - When all wastes, vents, hot and cold water pipes installed and under test.
- If applicable, check for correct facilities for Disabled Persons.
- Post-line - When all gib is fixed prior to stopping or trim being fitted.
- Linings and fittings - when all linings are fixed, plumbing fittings in place and before any decoration is done.
- Water Supply - Back flow presenters in place.
- Drains fully laid and ready on test - sewer and stormwater.
- Final -when the building is ready for occupancy, but before occupancy takes place.

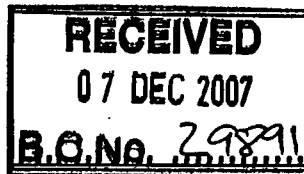
For all the above inspections, the OWNER or their AGENT, is required to be on site at the time of the inspection and they shall have a set of the stamped, approved drawings for the job on-site.

PLEASE NOTE: *Additional charges may be made for the following if the Building Officer arrives and:*

1. The work is not ready for the inspection.
2. Owner/agent/plans not on site.
3. Inspection not cancelled.
4. Boundaries not located or proved/no footing/foundation inspection.

It is important to note that should the necessary inspection not be done, a **CODE COMPLIANCE CERTIFICATE** will not be issued.

Owners should have regard to consequence of occupying or selling a non-complying building.



ELECTRICAL WORKERS
REGISTRATION BOARD

Safety • Competency

EWRS 551

Electrical Certificate of Compliance

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).
To be completed whether or not an inspection is required.

No. **1938374**

No. of attachments

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer **ABLE VENTURES**

Phone: **027 727 831**

Address of installation **25A WILSON RD. HONGKONG, CANBERRA**

Postal address of customer (if not as above) **PO Box 4560, 197 MANUKA**

WORK DETAILS

☐ No. of lighting outlets

☐ No. of ranges

☐ No. of socket outlets

☐ No. of water heaters

Was any installation work carried out by the homeowner?

☐ Yes ☐ No

Please tick (✓) as appropriate where work includes:

☒ Mains

☒ Main earthing system

☒ Switchboard

☒ Electric lines

Description **IN ALL NEW INSTALLATIONS**

NEW WIRING

INSTALL NEW MCB DISTRIBUTION BOARD

RE-WIRE CIRCUITS WHERE REQUIRED

FOR NEW SWITCHES, SOCKETS ETC

THROUGHT MAINS

***Carry out inspection on Mains**

& route through to main switch

on base board only

If necessary attach any pages with sketches of work done

It is recommended that test results be recorded here:

Visual Examination ☒

Earth Continuity ☒

Bonding ☒

Polarity ☒

Insulation Resistance _____ Mohm

Other **Loop test 0.332**

P.S.C 704 Amps.

CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

ELECTRICAL WORKER DETAILS

Name **A BENNETT**

Registration no. **E15579**

Company **BENNETT ELECTRICAL LTD**

Signature **[Signature]**

Date **19/1/06**

Contact Ph No. **0274-727831**

CERTIFICATION OF ELECTRIC LINES

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name **A BENNETT**

Registration no. **F15579**

Company **BENNETT ELECTRICAL LTD**

Signature **[Signature]**

Date **19/1/06**

Contact Ph No. **0274-727831**

INSPECTION DETAILS Electrical work requiring inspection by a registered electrical inspector

☒ New mains

☐ Switchboard

☒ Earthing system

☐ Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name **SCOTT GIBBONS**

Registration no. **I2924**

Signature **[Signature]**

Date **19-1-2006**

Contact Ph No. **027 251 7783**

Job No. 5940

ROTORUA DISTRICT COUNCIL
BUILDING SERVICES

AS-BUILT DRAINAGE PLAN

CONSENT NO: 30306 P. 25891
OWNER'S NAME: N J Bell
ADDRESS: 85A Western Rd Ngā
DRAINLAYER: M Long G999 Plumbing
SIGNATURE: [Signature] DATE: 1-11-05

Road.

1200

3800

House.

2700

1150

4100

1200

1200

② Sock Hole
S/W.② Sock Hole
S/W.

3000

RECEIVED

21 NOV 2007

B.C.No. [Blank]

Inspection Checklist: Domestic Final

Ref: TP 04-TF 01.19

Ver: 2

Issued: 30 May 07

Doc No: IT-639940

Page 1 of 6

P= PASS

F= FAIL

NA = NOT APPLICABLE

BC N ^o 30306		Address 85 a Western Rd	
Date Inspected	Inspection Comments / Notes: (Include comment on any alternative solutions identified, site observation statements, warranties or 'As Laid's to be provided, if applicable)		Inspector
21/11/07	Final of residential Building.		RL
	Work meets consent documents		
	✓ however Smoke alarm to be repositioned		
PASS If all works comply with the Consented documents and a Code Compliance Certificate can be issued please sign and date below.			
Date: 21/11/07		Inspector's signature: [Signature]	
If Inspection Result = FAIL then complete below			
Notices / Site Instructions			
Date Issued:	Site Instruction / N.T.F No.	If site inspection fails, record below reason(s) and reference to any site instruction or notice issued	
		As built to come.	
Date:		Re-inspections:	Inspector:
21/11/07		As built resumed	
Final Inspection - Domestic- Inspection result: 'Pass' (Refer to checklist)			

Fail = Non-compliance with approved plans & documentation

Pass = Compliance with approved plans & documentation.

N/A = Means that Building Officer feels that this portion of the prompt sheet is not relevant

Building Consent Documentation		Comments	Pass, Fail, N/A
1	Has a Form 6 been completed/submitted?		P
2	Approved Building Consent documents on site		P
3	Have conditions of PIM been met?		P
4	Have all inspections referenced in BC document been undertaken?		P
5	Check conditions of BC have been fulfilled.		P
6	Check instructions/commentary from previous inspection (have all outstanding instructions been complied with?)		P
7	Sec 269 – Does the application involve any certified building methods or products? If so check registers to ensure that these are current.	NO	P
8	Sec 364 – Is the building a household unit being constructed by or on behalf of a property developer for the purpose of sale? If so ensure that a condition is applied requiring the developer to obtain CCC before on-selling or allowing occupation of the property.	NO	P

Kitchen

9	Is food prep area layout as per the approved plans & specification? <i>The food preparation surface shall have the minimum dimensions shown in Figure 1, G3/AS1A drainer integral with and draining to the sink is acceptable.</i>			
10	Bench top sealed at junction with wall linings			
11	Is sink provided capable of containing cylinder of 300 mm dia & 125 mm depth? <i>Utensil washing and food rinsing facilities shall have a sink with free draining surfaces with continuous falls to the outlet. The sink shall be capable of fully containing a solid cylinder of 300 mm diameter and 125 mm depth.</i>			
12	Is hot & cold supply provided to sink? <i>Hot and cold water supply shall be provided to the sink as required by NZBC G12 "Water Supplies".</i>			
13	Trap & waste fitted to sink? <i>Plumbing and drainage for waste water from the sink shall be provided as required by NZBC G13 "Foul Water".</i>			
14	Energy supply provided for cooking? <i>A cooker with an oven and a hot plate, or a wall oven and a separate hob, shall be provided for cooking.</i>			
15	Has space & power been provided for refrigerator or ventilation for food safe? <i>The food storage space shall provide for either refrigeration, or ventilation to the outside air.</i>			
16	Energy source as specified for cooking			

Existing

17	Impervious, easily cleaned wall finishes been provided as per approved plans & specifications? <i>Wall linings adjacent to appliances and facilities shall have surfaces that can be easily maintained in a hygienic condition. Stainless steel, decorative high pressure laminate, tiles, wallboards with painted or applied impervious coatings or films, are examples of suitable materials for these surfaces.</i>				
Laundry					
18	Are laundering facilities provided as per approved plans & specification? <i>If no, issue NTF & request amended plans if facilities differ from approved.</i>				
19	Laundry tub installed adequate? G2/AS1, cl 1.0.2 A laundry tub shall: a) have a capacity to spill-level of no less than 35 litres, and b) be capable of fully containing a solid cylinder of 400mm diameter and 200mm depth				
20	Have service connections been provided? <i>A min of a cold water supply provided for tub or cold water and electric power supply to a washing machine?</i>				
21	Is the laundry tub securely fixed?				
22	Is the laundry tub correctly trapped?				
23	Has splash protection been provided to floor and wall linings? <i>E3/AS1 cl 3.1.1 'Floors' & 3.1.2 'Walls'. Floor and Wall linings and finishes must satisfy the performance for impervious and easily cleaned surfaces in areas exposed to water splash.</i>				
Wet areas / WCs					
24	Has the specified waterproofing membrane been applied in accordance with the manufacturer's specifications? <i>Ensure the specified waterproof membrane has been applied in accordance with the manufacturer's technical specification. If required ensure applicator provides a Producer Statement - Construction (PS3)</i>				
25	Are joints in impervious surfaces as detailed? <i>Jointing of impervious surfaces as specified i.e. PVC jointer, flexible sealant etc.</i>				
26	Has flexible sealant been provided at the floor/wall junction of the tiled floor? <i>Refer E3.2(C)'Buildings shall be constructed to avoid the likelihood of damage to building elements being caused by the use of water'.</i>				
27	Safety glazing as specified for shower screens, doors & windows been installed and clearly labeled. <i>NZS 4223</i>				
28	Shower cubicle watertight?				
29	Has hot water been tempered to 55 degrees Celsius maximum at all personal hygiene fixture? <i>Record actual temperature readings:</i>				
Ventilation					
30	Natural ventilation to occupied space in accordance with the approved plans and specification? <i>Refer G4, Clause 1.2 'Natural Ventilation'.</i>				
31	Is all mechanical ventilation operational and ducted to outside air? <i>Refer G4, Clause 1.3 'Mechanical Ventilation'.</i>				

Insulation			
32	Is the ceiling insulation installed correctly & as per the approved plans & specification? <i>If the insulation installed differs from that approved, ensure that the substitution complies & obtain written confirmation from the owner that they have approved the substitution.</i>		
33	Is a loose fill insulation barrier / boundary required / provided around flue/s of domestic solid fuel appliance installations? <i>Check NZS 4721 or AS/NZS 2918 or manufacturer literature.</i>		
34	Is the ceiling insulation clearance around light fittings appropriate for the type of fitting?		
35	Is subfloor insulation protection provided? <i>Subfloor insulation in exposed locations such as under raised floor of a pole house may require protection.</i>		
Glazing			
36	Does glazing comply with NZS 4223 Part 3? <i>Check that all glazing within 2m of floor level is of appropriate size and that safety glass is clearly labeled.</i>	Ex Aug	
P & D			
37	Are seismic restraints fitted to the water storage cylinder?		
38	Discharge wastes correctly sized and vented and terminate outside the building clear of openings?		
39	Waste pipe penetrations sealed at the back of gully		
40	Down pipes fixed correctly?		
41	Overflow relief gully 150mm below lowest fixture trap & FFL and 75mm above finished ground levels		
42	Drains correctly vented? <i>Ensure all branch drain 10m or > are vented</i>		
43	HWC vent protected against frost		
44	HWC drain to the exterior		
45	Is the HWC vented to the exterior / or TPRV		
46	Are all AAV's accessible		
47	Have all WC pans been securely fixed & sealed?		
48	Has appropriate mechanical ventilation been provided to all internal laundries, bathrooms, WC's		
49	Have all bench tops, vanities baths been sealed to stop water penetration?		
50	Have all shower cubicles been sealed to stop water leaking? <i>Run shower & check corners</i>		

Stairs / Landings / Handrails		
51	Have complying handrails been installed as per consent documentation? <i>Ensure handrail provided is graspable & are provided in accordance with the approved plans & specification</i>	
52	Have light switches been provided for the stairway lighting? Light switches shall be provided at the top & bottom of each stairway.	
53	Does the slip resistance comply? <i>Slip resistance shall be provided for all walking surfaces such as decks, patios & steps on the approach to the main entrance of the building.</i>	N/A
54	Do the stairway type, tread & rise comply with the approved plans & specifications? <i>Ensure all treads & risers for exterior private steps & stairs comply with main private stairway.</i>	
55	Barrier installed to all areas where there is a fall height of 1.000 or more can occur from the floor or opening in the exterior envelope of the building, or a change in level. <i>If yes a barrier is required. Ref NZBC Cl F4</i>	
Solid Fuel Burner (Free standing/Inbuilt)		
56	Refer Free Standing/Inbuilt solid fuel burner checklist	N/A
Smoke Alarms		
57	Smoke alarms installed <3m of bedroom and in escape paths	P
Swimming pool and fencing		
58	Refer swimming pool checklist	N/A
Exterior		
59	Exterior envelope complete and weatherproof	
60	Flashings to openings complete and weathertight?	
61	Wall cladding fixings/soakers/scribers completed?	
62	Brickwork weep holes/ventilation comply?	
63	Ground/paving heights comply?	
64	Decks/barriers/timber treatment/thresholds comply?	
65	Sub floor access/insulation/ ventilation correct?	
66	Roof cladding/flashings fixings/ roof penetration flashings completed?	
67	Landscaping completed?	
68	Retaining wall construction as per approved documentation?	
Effluent Disposal Systems		
69	System installed as per the approved consent?	
70	Producer statement (construction review) supplied from the installer or designer? <i>If so are they a recognized author?</i>	N/A
71	If required, can effluent disposal area be isolated from stock damage, etc? <i>Measures to keep stock off the disposal area ref to the approved design in the consent documents.</i>	
Damage Deposit		
72	Is footpath and/or kerb damaged?	P
73	Can damage deposit be refunded? <i>If no, take photographs for evidence</i>	P

Crossing Deposit			
74	Is crossing formed in accordance with RDC requirements?		P
75	Can crossing deposit be refunded? <i>If no, take photographs for evidence</i>		P
PHOTOGRAPHS (compulsory)			
76	Photographs taken of all exterior elevations!		P
Producer Statements/Certificates			
77	Energy Certificate for Electrical work		
78	Energy Certificate for Gas work		
	Exterior Plaster:		
79	Installers – PS3		
80	Product/System manufacturer –PS4		
	Plumbing:		
81	Fusiotherm Installers – PS3		
	Tiles/Tanking:		
82	Installers – PS3		
83	Product Manufacturer (Warranty)		
	Structural (including precast elements)		
84	PS3 – Construction		
85	PS4 – Construction Review		
	Geotechnical:		
86	PS3 – Construction		
87	PS4 – Construction Review		
	ST Ratings:		
88	PS3 – Construction		
89	PS4 – Construction Review		
	Glazing:		
90	PS3 – Construction		
91	PS4 – Construction Review		
	Proprietary Systems:		
92	PS3 – Construction		
93	PS4 – Construction Review		

OW_89142

22 August 2007

BELL, MR NELSON MATTHEW
PO BOX 4580
MOUNT MAUNGANUI

Dear Sir or Madam:

Request for Further Information on AMENDMENT.

Building Consent Number: 30306

P 29891

Project Location: 85A WESTERN ROAD

Project Description: COAL RANGE RETAINED, FIREPLACE REMOVED AND REPLACED
WITH A DOOR.

You may or may not be aware that the Building Act 2004 now requires a territorial authority to be satisfied on reasonable grounds that the provisions of the Building Act will be met if the building work were properly completed in accordance with the plans and specifications that accompany the building consent application.

As code compliance certificate will be issued against the approved plans and specifications it is now imperative that the plans and specifications clearly reflect code compliance.

Having assessed your plans and specifications, we require the following additional details / amendments to ensure compliance is properly demonstrated and enable building consent to be issued:

- Question*
1. Details are required of all timber that is to be used and its treatment.

Answer -
11.2 Timber
11.3.2 ply

2. Details are required of interior and exterior claddings and its fixing.

11.3.2 ply

3. Details are required of the flashings that are to be used:
a) between new and existing claddings

Ply

- b) above the door

Ply 11.3.2

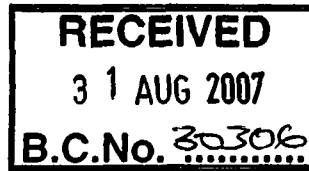
- c) the sides of the door

Re plaster to show

- d) below the door.

Wooden sill 11.3.2

4. Details are required to show how you intend complying with E2 clause 9.1.10.2 and figure 72.



Rotorua District Council
1061 Haupapa Street
Private Bag 3029
Rotorua Mail Centre
Rotorua 3046
New Zealand
P: 07 348 4199
F: 07 346 3143
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W: www.rdc.govt.nz

5. The position of smoke detectors complying with F7 clause 3.3.

in Bedroom

6. Details are required of the insulation you intend using in the new part of walls.

R1.8
batts

All further information is required to be lodged together and shall include a reference clearly indicating how and where this information has been provided and can be found within the documents.

We appreciate that requests for those items may be frustrating but unless compliance can be clearly demonstrated building consent cannot be issued. We have suspended building consent processing until the above information is provided. Please be assured of our earliest attention to completion of processing and issue of building consent on receipt of this information.

Should this information not be provided within 28 working days or if we do not receive communication otherwise stating that you still wish to proceed with this project, then we will assume that you do not wish to proceed further with this application & accordingly your application for building consent will be refused.

Yours sincerely



Colin Wiggins.
Building Officer.

The owners of SSA Western Rd
had this letter at the time I
going thru these requests with them
are satisfied that the door meets current
requirements, the outside has been replaced.
and from inside can see the H3.2 ply
above door. No extra framing
was required



Recommend this amendment be accepted

OW_89142

22 August 2007

BELL, MR NELSON MATTHEW
PO BOX 4580
MOUNT MAUNGANUI

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Having assessed your plans and specifications, we require the following additional details / amendments to ensure compliance is properly demonstrated and enable building consent to be issued:

1. Details are required of all timber that is to be used and it's treatment.
2. Details are required of interior and exterior claddings and its fixing.
3. Details are required of the flashings that are to be used:
 - a) between new and existing claddings
 - b) above the door
 - c) the sides of the door
 - d) below the door.
4. Details are required to show how you intend complying with E2 clause 9.1.10.2 and figure 72.

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5. The position of smoke detectors complying with F7 clause 3.3.
6. Details are required of the insulation you intend using in the new part of walls.

All further information is required to be lodged together and shall include a reference clearly indicating how and where this information has been provided and can be found within the documents.

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Colin Wiggins.
Building Officer.

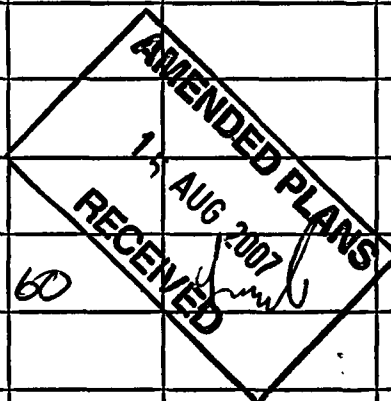
DESTINATION ROTORUA Rotorua District Council	Processing PIM / Amendments to BC Checklist	Ref: TP 03- TF03
		Ver: 1
		Issued: 10 July 07
		Page 1 of 8

CATEGORY	NZSFC	CONTRACTOR	INSPECTOR	INSPECTOR	PROCESSOR
1BII			Ray L	Paul F	

PIM/BC Application No. 30306 Valuation No. _____
 Owner: Bell Property File No. P29891
 Project Location: 85A Western Rd
 Description of Work: Fireplace removed + replaced by door
 Date Received: 15-8-07 Date Due: _____
 1st Suspension: _____ 2nd Suspension: _____
 Processing Resumed: _____ Resumed: _____
 Allocated by: _____ Date Issued: _____
 PIM Issued: _____ BC Issued: _____

Tracking Record:

Hazard/Caution/ Information (as noted on file)	Who to deal with				
Processing	Reviewed By	Date Received	Time Taken	Signed Off	Date
Admin Assistant - Building	BR	20-8-07	40	BR	12-09-07
Planning					
Resource Engineer					
Pollution Control					
Hazardous Substances					
Development Contributions					
Regulatory/Geothermal					
Environmental Health					
Recreation & Community					
Building	CH	22-8-7	60		11-9-07
Disabled Persons					
Other					



Environmental Health:
<i>Information Received</i>
Recreation & Community:
<i>Information Received</i>
Building:
<i>Information Received</i>

Team Leader: Building (Check know Hazard/Information/Caution note on file)	Yes/No	Details (Have you circled the check box?):
What wind zone is the project in (Very High, H, M, L)		Medium 4
What corrosion zone is the project in? (Detail: Sea spray, 1, 2, 3, 4)	4	Except within 50 metres of a bore, steam vent, mudpool or other fume source.
Fire Services – is an evacuation scheme required? (>10 employees, sleeping >5, assembly >100)	No	
Do Sections 326A–363C apply? (Public building being occupied during alteration)	No	
Does accessibility require upgrading? (Refer Sections 112, 115, 118)	No	
Provide details & copies of plans of all existing services that may be on site.	No	
Nominate Earthquake Zone (A, B, or C)	A	See NZS 3604
Does application involve Change of Use, Subdivision or Extension of Life? (If so please detail requirements & conditions – ref. Section 114, 115, 116 * 118)	No	
Does application involve a Specified Intended Life? (If so, detail conditions – ref. Section 113)	No	
Does the application involve a Dam? (If so, notify Regional Authority)	No	
Other affected parties required to be notified of PIM information (Ref x38 i.e network utility operators/RAAs)	No	
Other matters: (Please detail any other matters that may impinge on this project)	No	

as per original BC/PIM

[illegible]

No = Non-compliance with approved plans & documentation

Yes = Compliance with approved plans & documentation.

N/A = Not Applicable to this application.

PROCESSING CHECKLIST

Building Act		Yes = Y No = N N/A = X	Comments:
	Application Form Completed Correctly?		<i>adequate for small amendment</i>
1	Sec 31 – Has a PIM been issued for the project?	N	
2	Sec 36 - Has a Development Contribution Notice been attached to the PIM? <i>Check PIM</i>	N	
3	Sec 37 - Has a Certificate pursuant to Sec 37 of the BA 2004 been attached to the PIM requiring that a Resource Consent be obtained before building work may commence? <i>If so apply a building consent condition to this effect.</i>	N	
4	Sec 39 - Are there any issues associated with Historic Places Trust? <i>If so ensure that Historic Places Trust notification has occurred.</i>	N	
5	Sec 46 – Is the application of a nature that requires it to be sent to the NZFSC DRU. <i>Refer to Gazette notice 24th March 05 & updates.</i>	X	
4	Sec 67 - Is the building consent subject to a waiver or modification? <i>If so provide explanation for basis, & advise Chief Executive, Dept. of Building & Housing.</i>	N	
6	Sec 72 - Is land subject to natural hazards? <i>If so, identify hazards & document processes required, i.e. impose conditions, notify appropriate authorities, apply Sec 72, etc.</i>	N	
7	Sec 75 - Is the building constructed on 2 or more allotments? <i>If there are no party walls, or the allotments have been amalgamated, exempt from section 75 Certificate.</i>	N	
8	Sec 84 - Is any part of the work Restricted building Work? <i>If so ensure LBP is nominated and qualified. Not applicable until 2009.</i>	N	
9	Sec 112 – Is the application for an alteration to an existing building. <i>Will the altered building comply as near as reasonably practical to a new building.</i>	N	
10	Sec 113 - Does the building have a specified intended life? <i>Apply a condition that the building is to be removed, altered or demolished on or before end of specified life if life is less than 51 years.</i>	N	
11	Sec 114 – Is the proposed work a change in use, extension of life or subdivision of an existing building <i>If so has the owner provided appropriate written notification & addressed all other BA & BC requirements. Has a Fire Analysis been provided, if not suspend application. Peer review all jobs over \$500,000</i>	N	
12	Sec 118 – Are access and facilities for the disabled required? <i>If members of the public are to be permitted to enter the building on payment of fees or otherwise, access & facilities for the disabled will be required.</i>	N	
12 b	Earthquake Prone Building – Is the building listed on the TA Register for Earthquake Prone Buildings? <i>Check register or if the building is considered to be a potential risk then request an assessment be undertaken by a chartered professional engineer.</i>	N	

13	Sec 269 - Does the application involve any certified building methods or products? <i>If so check registers to ensure that these are current.</i>	N	
14	Sec 364 - Is the building a household unit being constructed by or on behalf of a property developer for the purpose of sale? <i>If so ensure that a condition is applied requiring the developer to obtain CCC before on-selling or allowing occupation of the property.</i>	N	
14 a	Does the application include any alternative solutions? <i>If so document the assessment and decision making process on appropriate section at front of Checklist.</i>	N	
14b	If this is an alteration, have records been checked to reconcile proposal against existing?	NA	
14c	Is a new compliance schedule required or does existing CS require amending? <i>Follow internal process. Suspend if no CS maintenance program provided.</i>	N	
14d	Have any Producer Statements been supplied with the application to provide reasonable grounds that proposed work will comply with NZBC. <i>Refer to internal procedure for assessing Producer Statements. Is peer review supplied / required.</i>	N	
14e	Has supporting documentation been supplied with proprietary products or systems? <i>Eg manufacturers installation specifications, durability statements, calculations, test reports, certificates)</i>	NA	
14f	Has a peer review been provided or engineering calculations for projects over \$500,000. If not suspend application.	N	

Producer Statements

Acceptance Guidelines 1. PS will be accepted from approved persons recognised as having appropriate technical competence / qualifications / experience / history within their specific discipline. 2. The author's competence will directly relate to the scope of work covered by their statement. If author's acceptability cannot be determined then the statement & all necessary documentation required to determine competence shall be returned to applicant to obtain peer review.	
Circle Statement Type: PS 1 – Design PS 2 – Design Review	Comments:
Circle Category: • Structural • Civil • Fire • Hydraulic • Glazing • Heating • Backflow • Architectural • Geotechnical • Plumbing • Drainage • Weathertightness • Air-conditioning • Mechanical	Comments:
Circle supporting information provided: • Calculations • Specifications • Soils reports • Fire reports • Inspection & Maintenance procedures	Comment:
Do engineering calculations reference the plans and specifications?	Comment:



PIM/BC APPLICATION No. 30306
DATE RECEIVED _____
DATE ISSUED - _____
PROPERTY FILE No. 29891
OWNER NAME Bell
JOB DESCRIPTION Relocate cottage
SITE ADDRESS 85A Western Rd.

AMENDMENT TO BUILDING CONSENT

Formal Declaration: (Please read carefully prior to signing)

This **AMENDMENT** to the abovementioned Building Consent is made by me as **owner** of the property:

X Signature: *M Bell* Date: 15/8/07

OR

I am the applicant **authorised by the owner** to make this **AMENDMENT**:

Signature: _____ Date: _____

Office Use Only

DESCRIPTION

The coal range that was fitted to the house when we purchased it in 1984, has been retained. The fireplace in the house has been removed and replaced with a door. No structural changes were required.

AMENDMENT DATE No. _____

Charge

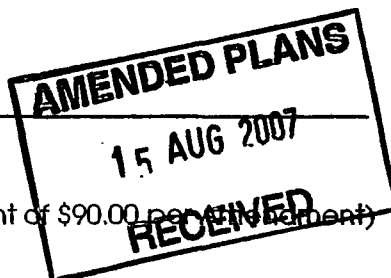


Y



N

(Note: Lodgement of \$90.00 per amendment)



THE PROJECT

Will the amended building work result in a change the use of the building?

Yes ☐ No ☒

If Yes, provide details of the new use:
(provide description of new use): _____

List building consents previously issued for this project (if any): (list who issued the consent, the date of issue and the consent number)

Intended life of the

building if less than 50 years _____

Estimated value of the amended building work on which the building levy will be calculated (including goods and services tax):

(state estimated value as defined in section 7 of the Building Act 2004)

\$ 500

Number of Toilet Pans: _____

(Commercial properties only)

BUILDING PRACTITIONERS

Builder:

Business/name: Nelson Bell Address: PO Box 4580 Mt Maunganui

Phone: 07 5745822 Mobile: 0274871128 After Hours: _____ Facsimile: _____

Email: bell@xtra.co.nz Registration/Qualification: _____

Designer/Architect:

Business/name: Cyrus Tuparo Address: _____

Phone: _____ Mobile: 0275 484787 After Hours: _____ Facsimile: _____

Email: _____ Registration/Qualification: _____

Plumber/Gas Fitter:

Business/name: N/A Address: _____

Phone: _____ Mobile: _____ After Hours: _____ Facsimile: _____

Email: _____ Registration/Qualification: _____

Drainlayer:

Business/name: N/A Address: _____

Phone: _____ Mobile: _____ After Hours: _____ Facsimile: _____

Email: _____ Registration/Qualification: _____

BUILDING PRACTITIONERS**Electrician:**

Business/name: N/A Address: _____
Phone: _____ Mobile: _____ After Hours: _____ Facsimile: _____
Email: _____ Registration/Qualification: _____

Structural Engineer:

Business/name: N/A Address: _____
Phone: _____ Mobile: _____ After Hours: _____ Facsimile: _____
Email: _____ Registration/Qualification: _____

Engineer (Identify practice college):

Business/name: N/A Address: _____
Phone: _____ Mobile: _____ After Hours: _____ Facsimile: _____
Email: _____ Registration/Qualification: _____

Head Contractor/Site Manager:

Business/name: N/A Address: _____
Phone: _____ Mobile: _____ After Hours: _____ Facsimile: _____
Email: _____ Registration/Qualification: _____

Other:

Business/name: N/A Address: _____
Phone: _____ Mobile: _____ After Hours: _____ Facsimile: _____
Email: _____ Registration/Qualification: _____

Other:

Business/name: _____ Address: _____
Phone: _____ Mobile: _____ After Hours: _____ Facsimile: _____
Email: _____ Registration/Qualification: _____

Other:

Business/name: _____ Address: _____
Phone: _____ Mobile: _____ After Hours: _____ Facsimile: _____
Email: _____ Registration/Qualification: _____

Other:

Business/name: _____ Address: _____
Phone: _____ Mobile: _____ After Hours: _____ Facsimile: _____
Email: _____ Registration/Qualification: _____

The building work will comply with the building code as follows: (Delete this section if this is an application for a PIM only)

Clause (which of the following clauses will be involved in the proposed building work?)	Means of compliance (refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications)	Proposed inspections (state means of inspection. Note PS4 or certification may be required)
☒ B1 Structure	☐ B1/AS2 ☐ NZS 3604 ☐ NZS 4203	☐ Council ☐ Engineer
	☐ NZS 4229 ☐ Other _____ (Specify)	☐ Other _____ (Specify)
☒ B2 Durability	☐ B2/AS1 ☐ NZS 3101 ☐ NZS 3602	☐ Council ☐ Engineer
	☐ NZS 3604 ☐ Other _____ (Specify)	☐ Other _____ (Specify)
☐ C1-4 Fire	☐ C1/AS1 ☐ Other _____ (Specify)	☐ Council ☐ Engineer
		☐ Other _____ (Specify)
☐ D1 Access Routes	☐ D1/AS1 ☐ NZS 4212 ☐ NZS 4121	☐ Council ☐ Engineer
	☐ Other _____ (Specify)	☐ Other _____ (Specify)
☐ D2 Mechanical Installations for access	☐ D2/AS1 ☐ NZS 4332 ☐ EN 81	☐ Engineer
	☐ EN 115 ☐ Other _____ (Specify)	☐ Other _____ (Specify)
☐ E1 Surface Water	☐ E1/AS1 ☐ AS/NZS3500.3	☐ Council
	☐ Other _____ (Specify)	☐ Other _____ (Specify)
☒ E2 External moisture	☐ E2/AS1 ☐ Specific design & testing	☐ Council
		☐ Other _____ (Specify)
☐ E3 Internal moisture	☐ E3/AS1 ☐ Other _____ (Specify)	☐ Council
		☐ Other _____ (Specify)
☐ F1 Hazardous Substances etc	☐ F1/AS1 ☐ Other _____ (Specify)	☐ Council
		☐ Other _____ (Specify)
☐ F2 Hazardous building	☐ F2/AS1 ☐ NZS 4223	☐ Council
	☐ Other _____ (Specify)	☐ Other _____ (Specify)
☐ F3 Hazardous substances	☐ F3/AS1 ☐ Other _____ (Specify)	☐ Council
		☐ Other _____ (Specify)
☐ F4 Safety from falling	☐ F4/AS1 ☐ FSP Act	☐ Council
	☐ Other _____ (Specify)	☐ Other _____ (Specify)
☐ F5 Construction and Demolition roads	☐ F5/AS1 ☐ Other _____ (Specify)	☐ Council
		☐ Other _____ (Specify)
☐ F6 Lighting for Emergency	☐ F6/AS1 ☐ Other _____ (Specify)	☐ Council
		☐ Other _____ (Specify)
☒ F7 Warning Systems	☐ F7/AS1 ☐ AS/NZS 1868 ☐ NZS 4215	☐ Council ☐ Engineer
	☐ NZS 4515 ☐ Other _____ (Specify)	☐ Other _____ (Specify)
☐ F8 Signs	☐ F8/AS1 ☐ Other _____ (Specify)	☐ Council
		☐ Other _____ (Specify)
☐ G1 Personal hygiene	☐ G1/AS1 ☐ Other _____ (Specify)	☐ Council
		☐ Other _____ (Specify)

☒ G2 Laundering	☐ G2/AS1	☐ Other _____ (Specify)	☐ Council	☐ Other _____ (Specify)
☐ G3 Food Preparation & prevention of contamination	☐ G3/AS1	☐ Other _____ (Specify)	☐ Council	☐ Other _____ (Specify)
☐ G4 Ventilation	☐ G4/AS1	☐ Other _____ (Specify)	☐ Council	☐ Other _____ (Specify)
☐ G5 Interior environment	☐ G5/AS1	☐ Other _____ (Specify)	☐ Council	☐ Other _____ (Specify)
☐ G6 Airborne & Impact sound	☐ G6/AS1	☐ Other _____ (Specify)	☐ Council	☐ Other _____ (Specify)
☐ G7 Natural light	☐ G7/AS1	☐ Other _____ (Specify)	☐ Council	☐ Other _____ (Specify)
☐ G8 Artificial light	☐ G8/AS1	☐ NZS 6763	☐ Council	☐ Other _____ (Specify)
☒ G9 Electricity	☐ G9/AS1	☐ Other _____ (Specify)	By certification only	
☐ G10 Piped Services	☐ G10/AS1	☐ NZS 5261	By certification only	
☐ G11 Gas as an Emergency source	☐ G11/AS1	☐ Other _____ (Specify)	By certification only	
☐ G12 Water supplies	☐ G12/AS1	☐ AS/NZS 8500.1	☐ AS/NZS 3500.4	☐ Council
☐ G13 Foul water	☐ G13/AS1	☐ AS/NZS 3500.2 BS 5572	☐ Council	☐ Other _____ (Specify)
☐ G14 Natural light	☐ G14/AS1	☐ Other _____ (Specify)	☐ Council	☐ Other _____ (Specify)
☐ G15 Solid waste	☐ G15/AS1	☐ Other _____ (Specify)	☐ Council	☐ Other _____ (Specify)
☒ H1 Energy Efficiency	☐ H1/AS1	☐ NZS 4218	☐ NZS 4243	☐ Council
	☐ ALF Design Manual	☐ NZS 4214	☐ Other _____ (Specify)	☐ Other _____ (Specify)

HAVE YOU PROVIDED ALL THE FOLLOWING INFORMATION?

(Strike out where not applicable)

NOTE TO APPLICANTS Please use this check sheet to ensure all the information required to be supplied with your application has been provided. If required information has not been provided your application may not be accepted and you will experience delays in obtaining your consent.

				ADDITIONAL INFORMATION
Site Plan: Fully dimensioned, scaled showing all buildings and easements (proposed/existing)	☐	☐	☐	
Site boundaries nominated	☐	☐	☐	
Foulwater (sewer) drains	☐	☐	☐	
Stormwater drains and soakholes	☐	☐	☐	
Water service details	☐	☐	☐	
Site levels and finished floor level indicated	☐	☐	☐	
Hill sites: indicate contours, drive Gradients and building heights	☐	☐	☐	
Landscaped areas indicated and planting plan produced (as appropriate)	☐	☐	☐	
Earthworks: Identify proposal for cut and/or fill where cut is more than 1.5m deep or 20 cubic metres.	☐	☐	☐	

MATERIALS USED (identify materials used. Required for Department of Building and Housing Records)

What materials will be used for the:

Floor

- 1 ☒ Timber 2 ☐ Concrete 3 ☐ Wood Products
4 ☐ Other Specify: _____

Framing

- 1 ☒ Timber 2 ☐ Concrete 3 ☐ Steel 4 ☐ Aluminium
5 ☐ Other Specify: _____

Roof

- 1 ☐ Steel Sheeting 2 ☐ Steel tiles 3 ☐ Concrete tiles 4 ☐ Shingles
5 ☐ Aluminium 6 ☐ Other Specify: _____

Internal

- 1 ☐ Plaster board 2 ☐ Fibrous Plaster 3 ☐ Wood Products
4 ☐ Other Specify: _____

External Cladding

- 1 ☐ Brick 2 ☐ Concrete 3 ☐ Concrete block 4 ☐ Cement board
5 ☐ Plaster 6 ☐ Timber 7 ☐ Steel 8 ☐ Aluminium
9 ☐ XPS 10 ☐ Other Specify: _____

Energy

Energy source _____

Cooking _____

Insulation _____

Connection to or disconnection from:

- ☐ Council water supply (Please attach "Application for Water Connection" form.) ☐ Council sewerage

COMPLIANCE The specified systems for the building are as follows: (specified systems are defined in regulations)	
BUILDING CONSENT The following plans and specifications are attached to this application:	
WAIVER/MODIFICATION TO NZ BUILDING CODE REQUIRED FOR FOLLOWING PARTS OF CODE:	

The following plans and specifications are attached to this application:

WAIVER/MODIFICATION TO NZ BUILDING CODE REQUIRED FOR FOLLOWING PARTS OF CODE:

COUNCIL USE ONLY

ESTIMATED TOTAL VALUE OF WORK

\$ _____ gst Inclusive Project floor area _____ m²

FEE PAYABLE

Consent deposit	\$ _____
Building Administration	\$ _____
Technical Processing	\$ _____
Industry Levy (DBH)	\$ _____
Producer Statements	\$ _____
Compliance Schedules	\$ _____
Water Connection	\$ _____
Sewer Connection	\$ _____
Other(s)	\$ _____
Total consent Deposit	\$ _____
Consent fee balance	\$ _____
Inspections	\$ _____
Other(s)	\$ _____
Total balance payable	\$ _____

Lodgement deposit \$ _____
Date paid \$ _____
Receipt No. _____
Consent fee balance \$ _____
Date paid \$ _____
Receipt No. _____

Granted by _____

Signature Belinda Hobson

Date 12-09-07

Issued by Belinda

Signature BR

Date 12-09-07

Please complete
Forward any refunds or further invoices to:

12 SEP 2007

NELSON BELL
P O BOX 4580
MOUNT MAUNGANUI

Rotorua District Council
1061 Haupapa Street
Private Bag 3029
Rotorua Mail Centre
Rotorua 3046
New Zealand
P: 07 348 4199
F: 07 346 3143
E: mail@rdc.govt.nz
W: www.rdc.govt.nz

File Ref: P29891
Building Consents no: 30306

Dear Sir/Madam

AMENDED PLANS FOR BUILDING CONSENT NO. 30306
ADDRESS: 85A WESTERN ROAD

Please find enclosed a stamped and signed approved copy of the Amended Plans that were submitted on 15 August 2007 for the above Building Consent.

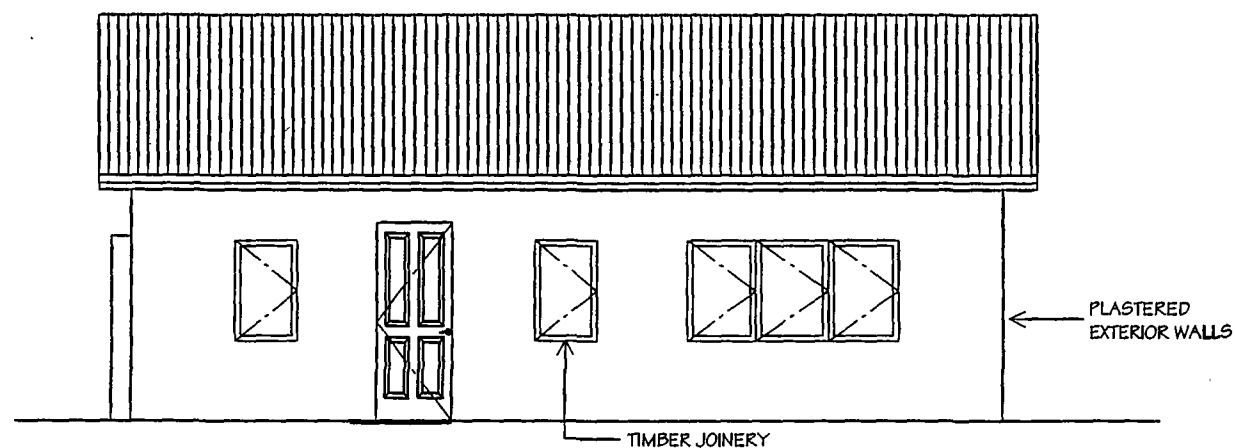
If you have any further queries, please do not hesitate to contact the Building Services Division.

Yours faithfully

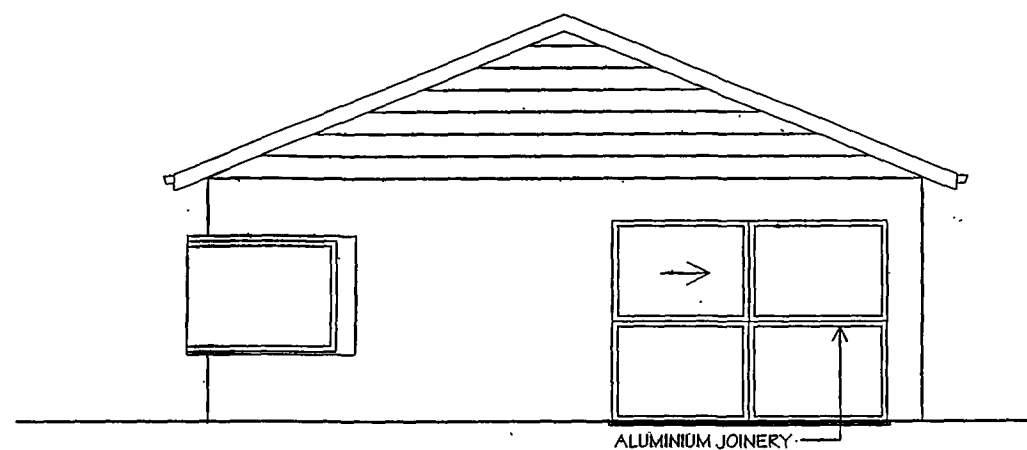


Belinda Robertson
Building Services Administration

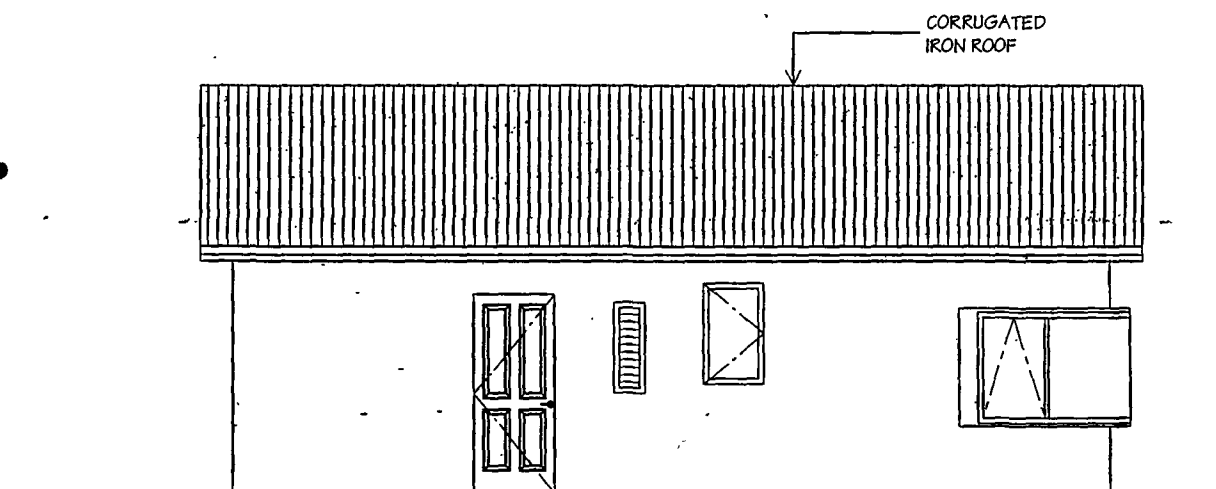
1.



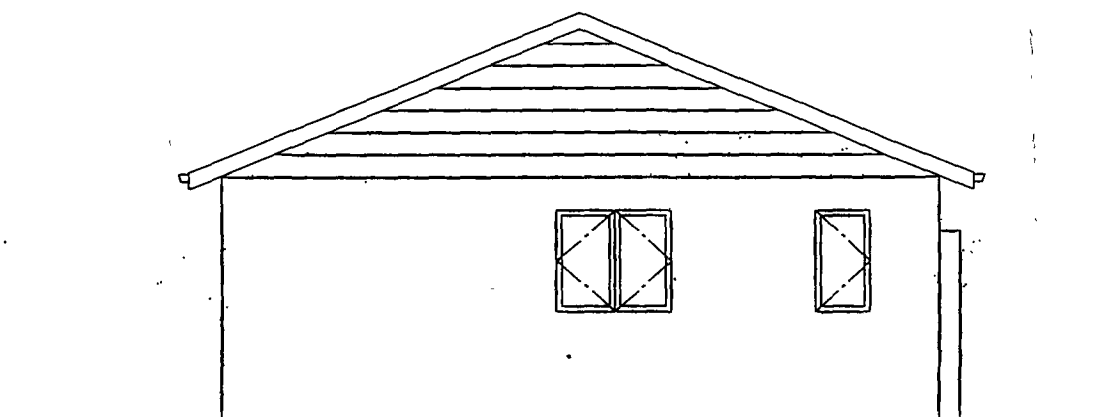
2.



3.



4.

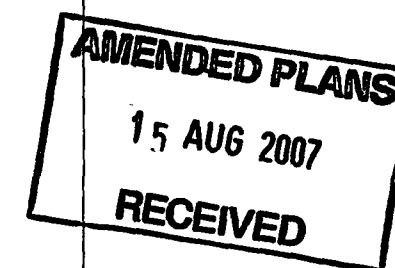


CYRUS TUPORO
ARCHITECTURAL DRAUGHTSMAN
(NZDAT)

PH. 0275 484 787

NOTES

ALL GROUND LINES ARE INDICATIVE ONLY AND
MUST BE CHECKED ON SITE



30306

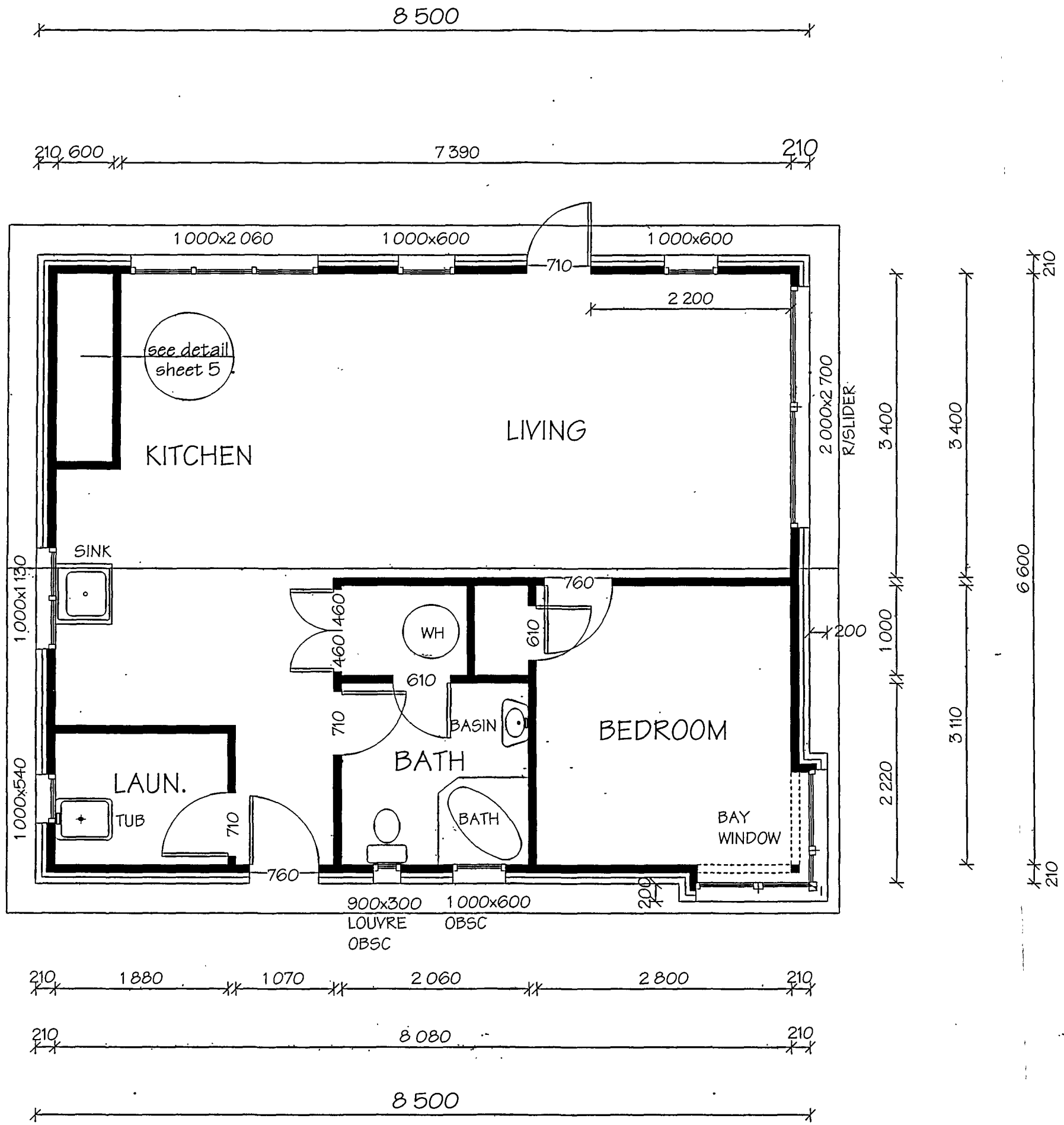
JOB TITLE
N & J BELL
LOT No.4, DPS 88642
85a WESTERN ROAD
NGONGOTAHA

DRAWING TITLE

ELEVATIONS

SALES	
DRAWN	CYRUS
CHECKED	
JOB No.	SHEET No. 1 OF 5
SCALE 1:75	DATE 22/07/05

AMENDED 13/08/07



CYRUS TUPORO
ARCHITECTURAL DRAUGHTSMAN
(NZDAT)

PH. 0275 484 787

NOTES

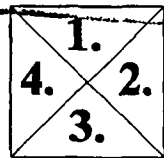
90x45 TIMBER FRAME

AMENDED PLANS

15 AUG 2007

RECEIVED

THE DIMENSIONS ON THIS FLOOR PLAN ARE TO BE CHECKED BY ALL TRADES PRIOR TO COMMENCEMENT OF ANY WORKS AS THEY ARE AN INDICATION ONLY AND HAVE BEEN SHOWN TO HELP VERIFY EACH TRADES OWN CALCULATION FROM THE FLOOR PLAN. THE DRAUGHTSMAN TAKES NO RESPONSIBILITY FOR ANY ERRORS IN THE DIMENSIONS SHOWN.



ELEVATION GUIDE

JOB TITLE

N & J BELL
LOT No.4, DPS 88642
85a WESTERN ROAD
NGONGOTAHA

DRAWING TITLE

FLOOR PLAN

SALES

DRAWN

CYRUS

CHECKED

JOB No.

SHEET No. 3 OF 5

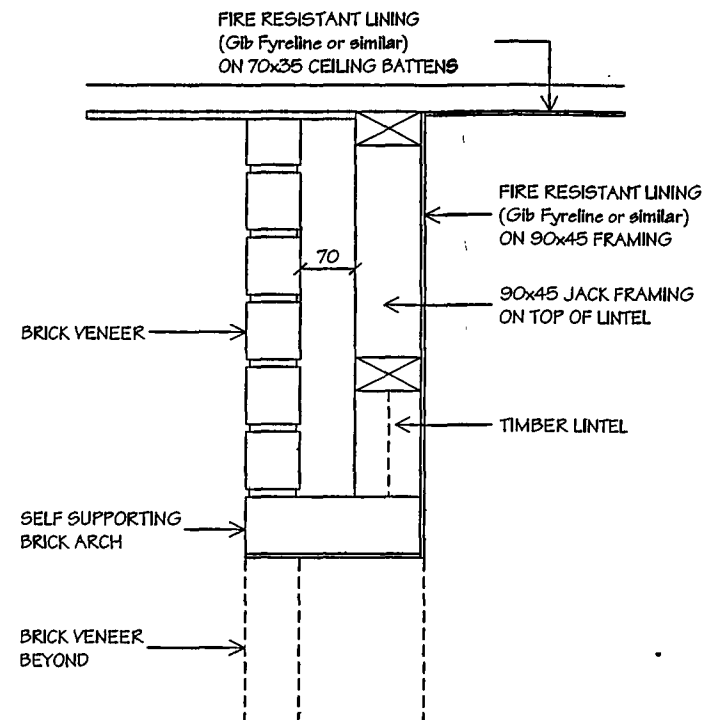
SCALE

1:50

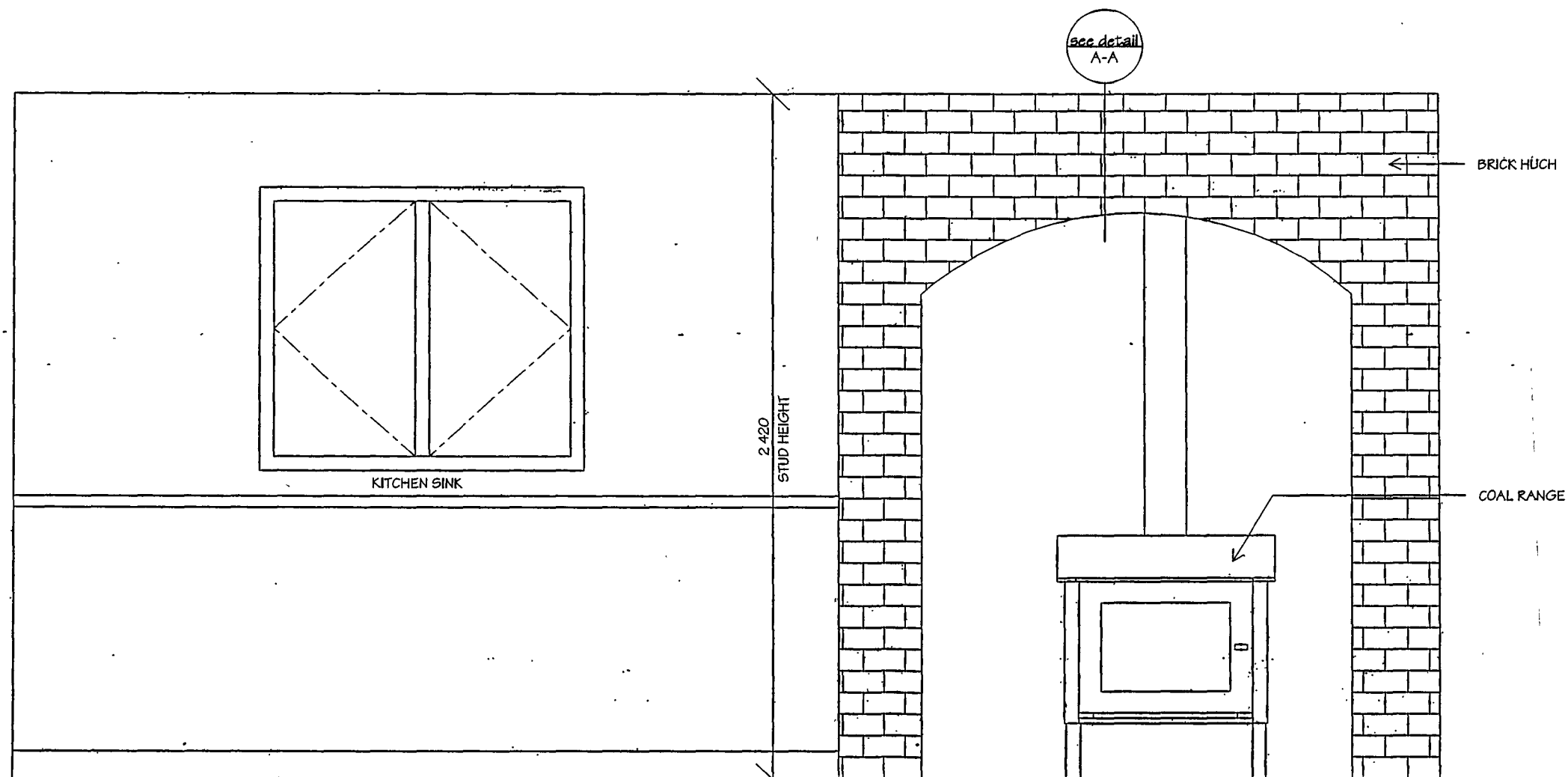
DATE

22/07/05

AMENDED 13/08/07



DETAIL A - A
SCALE 1:10



SCALE 1:20

CYRUS TUPORO
ARCHITECTURAL DRAUGHTSMAN
(NZDAT)

PH. 0275 484 787

NOTES

AMENDED PLANS
15 AUG 2007
RECEIVED

NO - 30306

JOB TITLE

N & J BELL
LOT No.4, DPS 88642
85a WESTERN ROAD
NGONGOTAHA

DRAWING TITLE

DETAILS

SALES

DRAWN

CYRUS

CHECKED

JOB No.

SHEET No. 5 OF 5

SCALE

1:10 & 1:20

DATE

22/07/05

AMENDED 13/08/07



☐ Recenter ☐ Id DataLayers
☐ Zoom In ☒ Id Legal Parcel
☐ Zoom Out ☐ Measure

Scale: 1:499

Map Type: Default

North





Copyright Kotorua District Council

Main Map Key

Legend for current display scale			
	StormWaterLead		WaterSupplyLine
	StormWaterPumpStation		WaterSupplyTeLine
	StormWaterMiscellaneous		WaterSupplyLine
	StormWaterNode		WaterSupplyUnit
	StormWaterValve		
	StormWaterManHole		
	StormWaterCessPit		Address
	StormWaterServiceLine		Road Intersection Hwy
	StormWaterChannel		Road
	StormWaterMain		Marae
	SewerPumpStation		Provision Easement
	SewerNode		Provision
	EL-C		Parcel
	Other		Lakes
	SewerValve		Island
	SewerManHole		Lake
	SewerServiceLine		
	SewerMain		
	BYPASS		

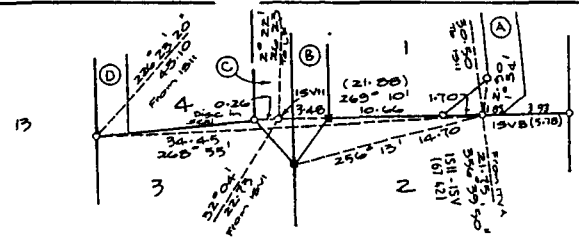


DIAGRAM 'B'
Not to scale

WESTERN ROAD

SEALED 120.12 WIDE AND OVER

SOURCE DPS86998



HALL RD
ORIGIN
DPS19752

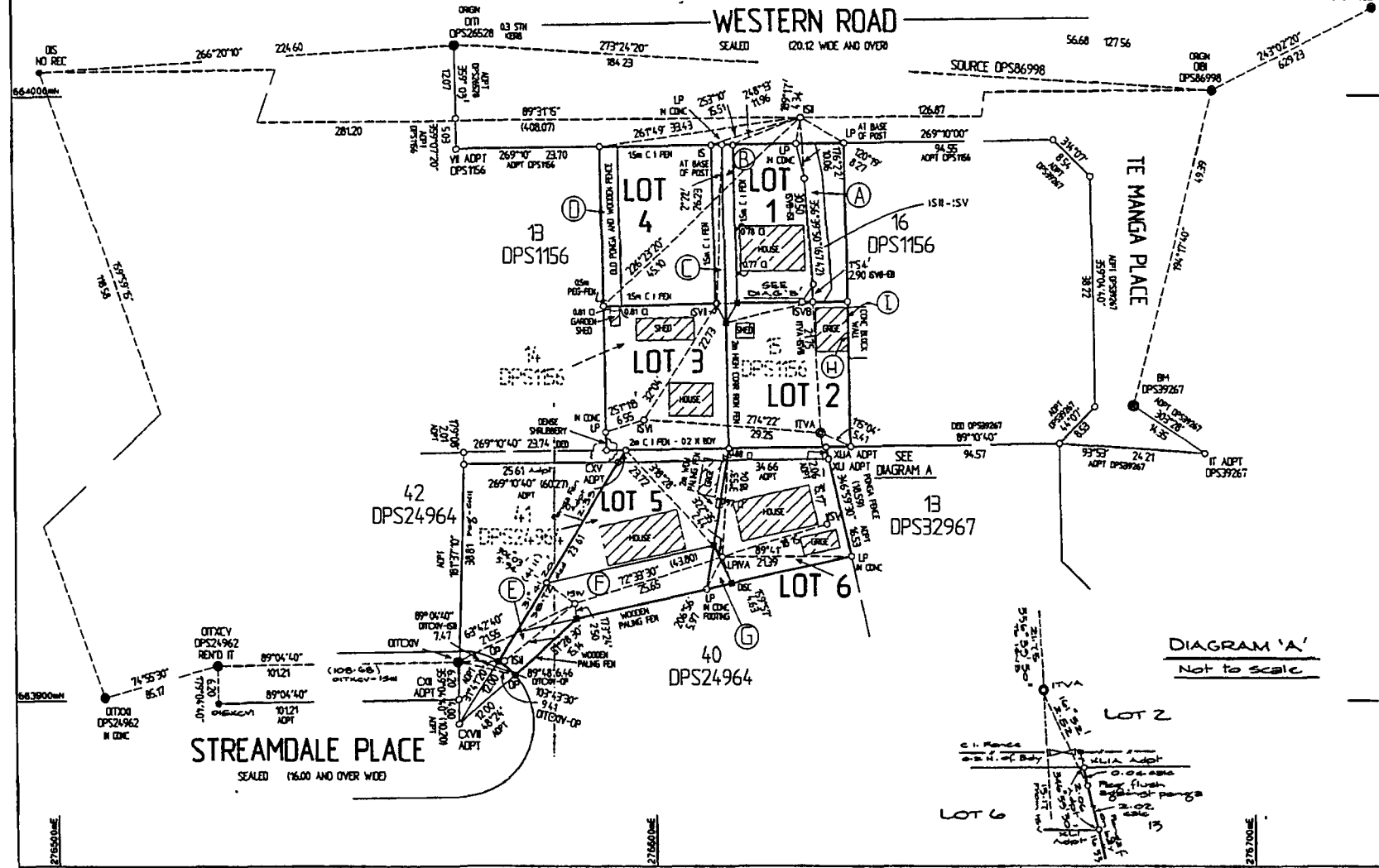
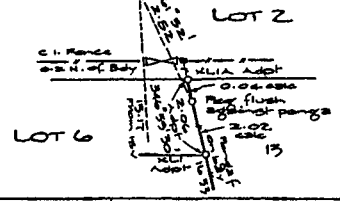


DIAGRAM 'A'
Not to scale

STREAMDALE PLACE

SEALED 16.00 AND OVER WOOD



Approvals

SCHEDULE OF COORDINATES		
MARK	mN	mE
ORIG DPS86998	663997.47	276751.42
ORIGIN	663882.64	276383.94
ORIGIN	663944.25	276627.60

NOTES:

1. SOURCE OF COORDINATES - DPS86998.
2. EQUIPMENT: SET 38 SN31250
3. CLASS OF SURVEY: I
4. NEW BOUNDARIES NOT FENCED UNLESS SHOWN OTHERWISE.
5. OLD MARKS AND ADOPTIONS ARE FROM DPS24964 UNLESS SHOWN OTHERWISE.

BEARINGS GEODETIC 1949
COORDINATES GEODETIC 1949
BAY OF PLENTY ORIGIN COORDINATES
ORIGIN - MAKETU 700000mN
300000mE

Total Area.....

Comprised in.....

I, Fergus Campbell Cumming
being a person entitled to practice as a registered surveyor
certify that:
(a) The surveys to which this dataset relates are accurate,
and were undertaken by me or under my direction in
accordance with the Survey Act 1986 and the Survey
Regulations 1998;
(b) This dataset is accurate, and has been created in
accordance with the Act and those Regulations.

Field Book p. Traverse Book 899-22-
Reference Plans DPS86998 DP 26528, DPS24962, 40
DPS24964, DPS156, DPS39267,
DPS49752, DPS22694.
Examined..... Correct

Approved as to Survey *Abdijah*
24/10/2001 Dep Chief Surveyor
Deposited this 31st day of May 2002
For Registrar-General of Land
Fm Received 2002 Instructions
DPS88642
Approved

LAND DISTRICT SOUTH AUCKLAND Survey Blk. & Dist. XVI ROTORUA NZMS 261 Sheet U15 Rcd Map No. 2119 2120	LOTS 1-6 BEING SUBDIVISION OF LOTS 14 & 15 DPS1156 AND LOT 41 DPS24964 & EASEMENT OVER LOT 16 DPS1156.	TERRITORIAL AUTHORITY ROTORUA DISTRICT Surveyed by Canmap Hawley Ltd Scale 1500 Date APRIL, 2000
--	--	--

30306

BUILDING SERVICES - PROJECT INFORMATION MEMORANDUM

APPLICATION NO: 30304

VALUATION NO: 07064/456-02

OWNER: Bell

PROPERTY NO:

P 29 891

PROJECT LOCATION:

85A Western Rd.

DESCRIPTION OF WORK:

Resite dwelling from Mt Maunganui.

CHECK APPLICATION - BUILDING OFFICER:

DATE RECEIVED: 9.8.05	DUE DATE: 6.9.05
DATE SUSPENDED:	DATE ISSUED: 18.8.05

PROCESSING	REVIEWED BY	TIME TAKEN	DATE RECEIVED	DATE PROCESSED
Administration	CM	30	8.8.05	9.8.05
Hazard				
Graphic Solutions	AC	30	9/8	9/8/05
Planning	OB	15		10/8/05
Resource Engineers	BL	15		11.8.05
Pollution Control				
Geothermal				
Hazardous Substances				
Environmental Health				
Recreation and Community				
Building				

PIM FEE	DATE PAID	RECEIPT NO.	DATE RECEIVED STAMP
\$175-	4.8.05	P03505	

NOTES AND CONDITIONS: (Please circle appropriate code for checkboxes)

300 a b c d e g h i j k l f	338 a b c d e g h i f
302 a b c d e g h i j k l m	340 a b c f
n o p q r s t u ☒ w x ☒	342 a b f
304 a b c f	344 a b c d f
306 a b c d e g h i j k l	346 ☒ a f
m n o f	348 a b c d e g h i ☒ j k
308 a b c d e f	l m n o p q r s t u
310 a f	v w x y z f
312 a b c ☒ e g f	350 a b c d e g f
314 a ☒ ☒ d e g f	352 a b c f
316 a ☒ c d e f	354 a b c f
318 a b c d e g h i f	356 a b c d e g h f
320 a ☒ c d e g h f	358 ☒ a ☒ b c d f
322 a f	360 a b c d f
324 a b c d e g h i j f	362 a f
326 a b c d e g h i j f	364 a f
328 a b c d e ☒ h i j k l m	366 a b c d f
n f	368 a b f
330 a b c d f	370 a b c f
332 a b c d e g h i j f	372 a b f f
334 a b c d e g h i f	374 a b f
336 a b f	

FREE TEXT:

302(f) Refer to attached copy of DPS 88642 for detail on easements affecting this property.

30304

BUILDING SERVICES – BUILDING CONSENT

APPLICATION NO:

30306

VALUATION NO:

07064/456.02

OWNER:

Bell

PROPERTY NO:

P29891

PROJECT LOCATION:

85A Western Rd

DESCRIPTION OF WORK:

Re-site dwelling from Mt Maunganui.

CHECK APPLICATION - BUILDING OFFICER:

DATE RECEIVED:	9.8.05	DUE DATE:	6.9.05
DATE SUSPENDED:	Inr 8/9/05 LTR 18/8/05	DATE ISSUED:	16.9.05

PROCESSING	REVIEW	DATE	TIME TAKEN	APPROVED	DATE
Hazard					
Administration			40	am	9.8.05
Building	ca	18-8-5	10/20	ca	6-9-5
Resource Engineers					
Geothermal					
Hazardous Substances					
Environmental Health					
Disabled Persons					

NOTES AND CONDITIONS: (Please circle appropriate code for checkboxes)

200	a	b	c	d	e	g	h	i	j	k	211	a	b	c	f							
	l	m	n	o	p	q	r	s	t	u	212	a	f									
	v	w	x	y	f						213	a	b	c	d	e	g	h	i	j	k	l
201	a	b	c	d	e	g	f					m	n	o	p	q	r	s	f			
202	a	b	f								214	a	b	f								
203	a	f									215	a	b	c	f							
204	f										216	a	f									
205	a	b	f								217	a	b	f								
206	a	b	c	f							218	a	b	c	d	e	g	h	i	j	k	f
207	a	f									219	f										
208	a	f									220	a	b	c	d	f						
209	a	f									221	a	b	c	d	e	g	h	i	j	k	l
210	a	b	c	f								m	n	f								

FREE TEXT:

1. What is the main purpose of the study?
 2. What are the research objectives?
 3. What is the significance of the study?
 4. What is the scope of the study?
 5. What are the limitations of the study?
 6. What is the methodology used in the study?
 7. What are the results of the study?
 8. What are the conclusions of the study?
 9. What are the recommendations of the study?
 10. What are the future research directions?

Rotorua District Council Services Plan



Valuation No.	07064/456.02
Lot No.	4
D.P.	S 88642
Blk	
S.Blk	XVI
Street No.	85A
	ROTORUA S.D.
	Scale 1 : 400

water main

WESTERN ROAD

wastewater main

stormwater main

water conn

sewer conn

CAUTION

This plan is for the purpose of indicating RDC assets of water, sewerage and stormwater services ONLY. It is not to be used as a site plan for building purposes. All services are indicated in good faith, however additional services may have been installed that do not appear on this plan.

Position measurements are subject to reasonable tolerances and depth of cover may have changed after installation.

Verify locations prior to excavating with machinery. A Road Opening Notice is required for excavation work within the road reserve.

Warning : Check for other underground services.

This plan was issued on 09/08/2005.

18 August 2005

Please Quote Building Consent No: 30306

File No: P29891
Doc No: OW-47820

N Bell
25 Bain Street
MT MAUNGANUI

Dear Sir/Madam

85A WESTERN ROAD

I acknowledge receiving your Building Consent Application dated 9.8.05, to relocate cottage but wish to advise that the plans and specifications submitted do not fully comply with the Building Code and/or legislation. Further processing of this Consent will be suspended until amendments or the required additional information is received. The permitted period of suspension will be **up to 20 working days** within which time it is considered all information should have been submitted.

BUILDING

- ✓ Details of the size of the anchor pile holes.
- Footing details for the open fire place.
- Details of flashings to all new openings in the exterior walls are required showing that you are complying with Clause E2 Section 9 of the Building Code. *No new openings*
- No deck over 1000 high* • A deck is described in the re-site report but is not shown on the plans. Please confirm in writing whether or not the deck is part of this Consent. If it is, then plans for it are required.
- Written confirmation is required to show that you will be doing the repair work stated in the re-site report, as part of this Consent.
- ✓ Full drainage plans required. — *Received 19-8-5*

On receipt of this information further consideration will be given to the application and if found to be satisfactory the consent will be issued on payment of the required fees.

Should you envisage difficulty in providing additional information within the given time or wish to discuss the matter, Council Officers will be pleased to provide assistance.

Yours faithfully

P R Lawrence
Building Control Manager

Building Consent No:30306
Section 51, Building Act 2004

Issued:16Sep05

Rotorua District Council
1061 Haupapa Street
Private Bag 3029
Rotorua, New Zealand
P: 07 348 4199
F: 07 346 3143
E: mail@rdc.govt.nz
W: www.rdc.govt.nz

The Building

Street Address of building: 85A WESTERN ROAD, NGONGOTAHA, ROTORUA 3202

Legal Description of land where building is located:

LOT 4 DPS 88642

Building Name: PRIVATE RESIDENCE

The Owner

Name of owner: MR NELSON MATTHEW BELL
Mailing Address: 25 BAIN STREET
MOUNT MAUNGANUI 3002

Contact Person: MR NELSON MATTHEW BELL
Mailing Address: 25 BAIN STREET
MOUNT MAUNGANUI 3002

Street address/registered office: 85A WESTERN ROAD
NGONGOTAHA
ROTORUA 3202

Phone number: (Bus.)
(07)5745822 (Pvt.)

Facsimile number:

Email address:

Website:

First point of contact for communications with council/building consent authority:

Building Work

The following building work is authorised by this consent:

Project: Resite Building

Intended Use: RELOCATE COTTAGE 1 WC (EX MOUNT MAUNGANUI)

This building consent is issued under section 51 of the Building Act 2004.
This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration,

demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

1: Notice to be given by owner or agent that building work is ready for inspection shall be given to the Rotorua District Council at least 1 (one) working day in advance of covering in any of the following work:

At the completion of the work authorised by this Building Consent.

Please arrange the booking of inspections and direct enquiries regarding this consent to the Building Services Department, phone (07) 348 4199.

Excavation for foundations.

Reinforcing steel for foundations.

Prior to slab placement, hardfill, damp proofing (if required), reinforcement etc.

Plumbing work within any wall cavity, eg timber or blockwork.

Bracing and fixing of subfloor framing members prior to subfloor cladding being fixed.

The fixing of framing members prior to any lining being fixed.

All foul water and stormwater drainage in ground before backfilling.

2: Hot Water Control

The hot water supply to sanitary fixtures used for personal hygiene is to be fitted with tempering valves or other approved devices to limit the water temperature to 55 C.

3: Code Compliance Certificate

The owner or agent shall as soon as practicable, advise the Rotorua District Council that all building work has been completed to the extent required by this Building Consent.

SECTION 93(2)(b)(i) BUILDING ACT 2004

The owner or agent must apply for a Code Compliance Certificate within 2 years after the date on which the Building Consent for the building work was granted.

4: Standard Conditions

This building consent is permission to undertake building work in accordance with the approved plans and specifications. All work must comply with the provisions of the Building Code. Any alterations from the original plans and specifications must have prior approval from the Building Control Manager.

Endorsement on Plans and Specifications form part of this approval.

If the work is not commenced within six months and/or reasonable progress has not been made within twelve months a written extension of time can be granted on application to the Council.

The owner of the property is responsible for the correct siting of buildings

or additions in relation to boundary pegs.

Any deficiency not specifically drawn to the attention of the builder or owner by the Building Officer shall not be deemed to have been approved.

The use is limited to that stated on the Building Consent. Any change of use would require a separate approval.

Plumbing and drainage work to be carried out by licensed tradesperson only.

5: Standard Statement

THIS BUILDING CONSENT IS ISSUED SUBJECT TO ALL OTHER OUTSTANDING CONSENTS HAVING BEEN APPROVED. WORK SHALL NOT COMMENCE AND INSPECTIONS WILL NOT BE UNDERTAKEN UNTIL THOSE OUTSTANDING CONSENTS HAVE BEEN COMPLIED WITH.

A CODE COMPLIANCE CERTIFICATE MAY NOT BE ISSUED IF ALL FLASHINGS HAVE NOT BEEN INSPECTED PRIOR TO THE COVERING UP OR CLOSING IN OF BUILDING WORK.

SECTION 52 BUILDING ACT 2004 (LAPSE OF BUILDING CONSENT)

A Building Consent lapses and is of no effect if the building work to which it relates does not commence within 12 months of the date of issue unless prior arrangements are made with the Building Consent Authority

TYPE 1 DOMESTIC SMOKE ALARM SYSTEM - CLAUSE F7 WARNING SYSTEMS:

* Requires that an appropriate means of detection and warning for fire must be provided within each household unit.

* Smoke alarms shall be located on the escape routes on all levels within household units.

* On all levels containing the sleeping spaces, the smoke alarms shall be located either:

a) in every sleeping space; or

b) within 3 metres of every sleeping space. In this case, the smoke alarms must be audible to sleeping occupants on the other side of closed doors.

These will be required on all new dwellings and retrospectively fitted in dwellings when, and if, a Building Consent for additions or alterations is applied for.

A CODE OF COMPLIANCE CERTIFICATE WILL NOT BE ISSUED UNTIL THE SMOKE ALARMS HAVE BEEN INSTALLED AND SEEN OPERATING.

Compliance Schedule

A compliance schedule is not required for the building.


Signature


ADMINISTRATION ASSISTANT

Position

On behalf of: ROTORUA DISTRICT COUNCIL

Date: 16 Sep 2005

Rotorua District Council
1061 Haupapa Street
Private Bag 3029
Rotorua, New Zealand
P: 07 348 4199
F: 07 346 3143
E: mail@rdc.govt.nz
W: www.rdc.govt.nz

Project Information Memorandum No:30304

Section 34, Building Act 2004

Received:09Aug05

Issued:18Aug05

MR NELSON MATTHEW BELL
25 BAIN STREET
MOUNT MAUNGANUI 3002

MR NELSON MATTHEW BELL
25 BAIN STREET
MOUNT MAUNGANUI 3002

PROPERTY ID: 29891

STREET ADDRESS: 85A WESTERN ROAD, NGONGOTAHA, ROTORUA 3202

LEGAL DESCRIPTION: LOT 4 DPS 88642

PROJECT IS FOR: Resite Building

INTENDED USE(S): RELOCATE COTTAGE 1 WC (EX MOUNT MAUNGANUI)

INTENDED LIFE: Indefinite but not less than 50 years

VALUE OF WORK: \$20,000.00

NUMBER OF STAGES: 1

COUNCIL'S TOTAL CHARGES FOR THIS PROJECT INFORMATION MEMORANDUM
ARE: \$175.00

PAYMENTS RECEIVED TO DATE:

Receipt number: 23505 Date: 04Aug05 Amount: \$175.00

Project Information Memorandum: 30304
See attached page(s) for any other conditions.

Page : 1

1: PIM STATUS

The proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any condition of the Building Consent.

2: SPECIAL FEATURES OF THE LAND

No building (or part of its structure) shall be constructed within an easement.

Refer to attached copy of DPS 88642 for detail on easements affecting this property.

3: PUBLIC UTILITIES/ROADING

The vehicle crossing, if not already complying, is to be installed prior to the building being occupied and must meet the requirements of Council's crossing bylaw, the Local Government Act and the Engineering Code of Practice.

4: PUBLIC UTILITIES - STORMWATER

The proposed building work is to be sited on land which the Council has identified in its records as being adjacent to a public stormwater system owned by Council.

5: WATER - URBAN SUPPLY

The proposed building work is to be sited on land which the Council has identified in its records as being connected to a Public Water Supply administered by the Council and As Built connection details are attached. (Services Plan).

6: SEWERAGE

The proposed building work is to be sited on land which the Council has identified in its records as having a connection to a Public Sewerage System administered by the Council and As Built connection details are attached (Services Plan).

7: VEHICLE CROSSINGS

The vehicle crossing shall comply with, and if necessary be upgraded to Council's RD 13 standards (attached). Note: If the vehicle crossing requires upgrading, a Road Opening Application (attached) is required to be completed and returned to Resource Engineers for approval prior to the commencement of works on the crossing. Turn around time will be 15 working days and there is no charge associated with this. Plans in triplicate showing the location of the works will also be required.

Project Information Memorandum: 30304
See attached page(s) for any other conditions.

Page : 2

8: PERMITTED ACTIVITY

The proposed building work is a Permitted Activity under the Rotorua District Plan. No Resource Consent is required.

9: PERFORMANCE STANDARDS

The activity is permitted subject to compliance with the performance standards and requirements of the Residential B zone.

10: COMPULSORY PLANNING STATEMENTS

The District Plan does not indicate any proposed road widening, proposed service lane, designations, scheduled sites or protected historic buildings, sites or trees on the land the building work is proposed.

The proposal is not a "development" as defined in the District Plan.

NATURAL GAS CORPORATION

For information regarding a proposed gas connection or the location of existing gas pipelines as they affect this property, please contact the Natural Gas Corporation. For any building work (as defined by Section (2) of the Building Act 1991) that will disturb over and around any gas pipeline or service and prior to the commencement of that work, the applicant shall be required to contact the gas centre for authorisation to proceed.

ELECTRICITY

Under the Electrical Supply Regulations 1976 it is an offence to erect any building or structure within certain prescribed distances of an overhead electrical line. To enquire about these restrictions, contact your local electricity distributor.

Signed for and on behalf of the Council:

Name: L Tetenburg Position: Administration - Building

Signed:  Date: 19/08/2005

THE OWNER

Name of owner:
[include preferred form of address, eg,
Mr, Miss, Dr, if an individual]

Mr Nelson Bell

Contact person:
[insert contact name]

Nelson Bell

Mailing address:
[insert mailing address]

23 Bain Street

Mt Maunganui

Street address/registered office:
[insert street address/registered office]

Phone numbers: _____

Landline: 07 5745822 Daytime: _____

Mobile: 0274 87128 After Hours: _____

Facsimile number: 07 5745822

Email address: belln@xtra.co.nz

Website: _____
[website address if applicable]

The following evidence of ownership is attached to this application:
[current copy of certificate of title, lease, agreement for sale and purchase, or other
document showing full name of legal owner(s) of the building]

AGENT

Name of agent:
[include preferred form of address, eg,
Mr, Miss, Dr, if an individual]

Contact person:
[insert contact name]

Mailing address:
[insert mailing address]

Street address/registered office:
[insert street address/registered office]

Phone numbers: _____

Landline: _____ Daytime: _____

Mobile: _____ After Hours: _____

Facsimile number: _____

Email address: _____

Website: _____
[website address if applicable]

Relationship to owner: _____
[state details of the authorisation from the owner to make the application on the
owner's behalf]

First point of contact for
communications with the council/
building consent authority:
[all invoices and refunds related to
this application will be directed to this
person in all instances]

HAVE YOU PROVIDED ALL THE FOLLOWING INFORMATION?

(Strike out where not applicable)

NOTE TO APPLICANTS Please use this check sheet to ensure all the information required to be supplied with your application has been provided. If required information has not been provided your application may not be accepted and you will experience delays in obtaining your consent.

GENERAL	Yes	No	BCA
Plans and specifications of an acceptable standard (Reference BRANZ Bulletin 365 Acceptable Plans and Specifications)	☒	☐	☐
Plans, elevations, cross sections of the proposal in duplicate	☒	☐	☐
Certificate of Title (recent search copy less than 6 months old)	☐	☐	☐
Wind Zone classification	☐	☐	☐
Earthquake Zone classification	☐	☐	☐
Corrosion Zone classification	☐	☐	☐
Presence of natural hazards eg. Flooding, falling debris, erosion	☐	☐	☐

BULK & LOCATION	Yes	No	N/A
Site Plan: Fully dimensioned, scaled, showing all buildings and easements (proposed/existing)	☒	☐	☐
Site boundaries nominated	☒	☐	☐
Site area per unit indicated	☒	☐	☐
Site coverage and plot ration calculations %	☒	☐	☐
Shared access ways/other areas	☐	☐	☐
Foulwater (sewer) drains	☐	☐	☐
Stormwater drains and soakholes	☐	☐	☐
Water service details	☐	☐	☐
Site levels and finished floor level indicated	☒	☐	☐
Vehicle crossing position indicated on plan	☐	☐	☐
Vehicle access manoeuvre and parking areas indicated	☒	☐	☐
Street trees, poles, sumps, manholes, traffic islands affecting vehicle access	☐	☐	☐
Hill sites: indicate contours, drive gradients and building heights	☐	☐	☐
Landscaped areas indicated and planting plan produced	☐	☐	☐
Earthworks: identify proposal for cut and/or fill where cut is more than 1.5m deep or 20 cubic metres.	☐	☐	☐

OTHER MISCELLANEOUS	Yes	No	N/A
Demolition details	☐	☐	☐
Swimming pool: design, fence and discharge	☐	☐	☐
Backflow prevention	☐	☐	☐
Notable and protected trees indicated	☐	☐	☐
Heritage site or building affected	☐	☐	☐
Resource Consent application	☐	☐	☐
Subdivision details	☐	☐	☐

CONSTRUCTION DETAILS		Yes	No	BCA
Products and designs match selected earthquake, wind and corrosion zones	☐	☐	☐	
Timber treatment specifications	☐	☐	☐	
Foundation plans and design included. Plans to show details on reinforcing, all fixings and subfloor bracing for timber floors.	☒	☐	☐	
Floor slab details including location of expansion joints	☐	☐	☐	
Geotechnical reports on ground condition as required	☐	☐	☐	
Floor plans with fire partitions, common walls & dividing walls & identification of all rooms & their intended uses	☐	☐	☐	
Elevations with maximum height and daylighting recession planes	☒	☐	☐	
Beam designs including fixings, design charts for manufactured beams where used	☐	☐	☐	
Roof plan complete with truss design statement and details	☐	☐	☐	
Details to resist roof uplift	☐	☐	☐	
Bracing calculations and layout plans	☐	☐	☐	
Brace fixing details	☐	☐	☐	
Blockwork design, including cover to reinforcing, locations and detail of expansion joints, fixings.	☐	☐	☐	
Retaining walls: design, heights, position, subsoil drainage and safety barriers	☐	☐	☐	
Windows: opening and fixed windows indicated, cantilevered lintel details included where appropriate	☒	☐	☐	
Glazing: safety glass specifications included	☐	☐	☐	
Sound insulation indicated	☐	☐	☐	
Location of smoke detectors	☐	☐	☐	
Claddings and weathertightness details provided for all claddings, including risk matrix or equivalent	☐	☐	☐	
Stairs/steps/landings/balconies: dimensions, handrail and barrier details	☐	☐	☐	
Decks: membrane specifications (especially compatible substrates), threshold details, position and size of overflows, gutter size calculations,	☐	☐	☐	
Solid fuel heater: make, model & location	☐	☒	☐	
Accurate layout of plumbing & drainage systems	☐	☐	☐	
Full details of alternative solutions if used	☐	☐	☐	
Producer Statement: specific design details for work outside the scope of acceptable solutions and non specific design codes.	☐	☐	☐	
Fire Safety Summary or Fire Design statement	☐	☐	☐	
Drainage and/or plumbing	☐	☐	☐	
Lifts, escalators, moving walkways	☐	☐	☐	
Acoustic and thermal insulation	☐	☐	☐	
HVAC systems	☐	☐	☐	
Energy	☐	☐	☐	
People with disabilities access & facilities	☐			
Independent peer review for specialist design above				
Compliance Schedule details				

To be submitted

COMPLIANCE

The specified systems for the building are as follows: [specified systems are defined in regulations]

The following specified systems are being altered, added to, or removed in the course of the building work: [specify]

There are no specified systems in the building. ☐

PROJECT INFORMATION MEMORANDUM

The following matters are involved in the project

☐ Subdivision

☐ Alterations to land contours

☒ New or altered connections to public utilities

☒ New or altered access for vehicles

☒ Disposal of stormwater and wastewater

☒ New or altered locations and/or external dimensions of buildings

☒ Building work over or adjacent to any road or public place

☐ Building work over any existing drains or sewers or in close proximity to wells or water mains

☐ Other matters known to the applicant that may require authorisations from the territorial authority: [specify]

Trimming of roadside tree during rebuskin.

BUILDING CONSENT

The following plans and specifications are attached to this application:

Property Inspection Report

Structural Calculations - Producer Statement - Design

Site Plans *Elevations Plan*

Floor Plans *Foundations Plan*

ATTACHMENTS

The following documents are attached to this application:

☒ Certificate attached to project information memorandum

☒ Plans and specifications [list] _____

☒ Project information memorandum

☒ Development contribution notice

MATERIALS USED (identify materials used. Required for Department of Building and Housing records)

What materials will be used for the:

Floor

1 ☒ Timber 2 ☒ Concrete 3 ☐ Wood Products

4 ☐ Other Specify: _____

Framing

1 ☒ Timber 2 ☐ Concrete 3 ☐ Steel 4 ☒ Aluminium

5 ☐ Other Specify: _____

Roof

1 ☒ Steel sheeting 2 ☐ Steel tiles 3 ☐ Concrete tiles 4 ☐ Shingles

5 ☐ Aluminium

6 ☐ Other Specify: _____

Internal

1 ☒ Plaster board 2 ☐ Fibrous Plaster 3 ☒ Wood Products

4 ☐ Other Specify: _____

External Cladding

1 ☐ Brick 2 ☐ Concrete 3 ☐ Concrete block 4 ☐ Cement board

5 ☐ Plaster

6 ☐ Timber

7 ☐ Steel

8 ☐ Aluminium

9 ☐ XPS

10 ☐ Other Specify: Stucco

Energy

Energy source Electricity

Cooking: Electricity

Insulation Nil

Connection to or disconnection from:

☒ Council water supply (Please attach "Application for Water Connection" form.)

☒ Council sewerage

ESTIMATED TOTAL VALUE OF WORK

\$ 20,000 gst inclusiveProject floor area _____ m²

FEE PAYABLE

Consent deposit	✓	\$ <u>175.00</u>
Project Information Memorandum	✓	\$ <u>556.00</u>
Building Administration		\$ <u> </u>
Technical Processing		\$ <u> </u>
Industry Levy (DBH)		\$ <u>39-40</u>
Industry Levy (BRANZ)		\$ <u>20-</u>
Developmental Contribution Levy		\$ <u> </u>
Certificate of Title		\$ <u>10.50</u>
Producer Statements		\$ <u> </u>
Compliance Schedules		\$ <u> </u>
Rural Number		\$ <u> </u>
Vehicle Crossing		\$ <u>2500.00</u>
Street Damage		\$ <u>400.00</u>
Water Connection		\$ <u> </u>
Sewer Connection		\$ <u> </u>
Other(s)		\$ <u> </u>
Total consent deposit		\$ <u> </u>
Consent fee balance		\$ <u> </u>
Inspections		\$ <u> </u>
Other(s)		\$ <u> </u>
Total balance payable		\$ <u>2969.90</u>

COUNCIL USE ONLY

Lodgement deposit	\$ <u>731-</u>
Date paid	<u>4.8.05</u>
Receipt No.	<u>RQ3505</u>
Consent fee balance	\$ <u> </u>
Date paid	<u>15.9.05</u>
Receipt No.	<u>2027826</u>

Please complete

Forward any refunds or further invoices to:

23 Bain St

Mt Maunganui

556.00

+ 175.00

731.00

THE PROJECT

Description of the building work:

[provide sufficient description of building work to enable scope of work to be fully understood]

Relocation of Existing College from
128 Oceanview Rd Mt Mangonui to
85A Western Road Ngongotaha

Will the building work result in a change of use of the building?

Yes ☐ No ☒

If Yes, provide details of the new use:

[provide description of new use]

List building consents previously issued for this project (if any):

[list who issued the consent, the date of issue and the consent number]

Intended life of the

building if less than 50 years: _____

Estimated value of the building work on which the building levy will be calculated (including goods and services tax): \$ 20,000
[state estimated value as defined in section 7 of the Building Act 2004]

Number of Toilet Pans: 1

(Commercial properties only)

APPLICATION

I request that you issue a †[project information memorandum/project information memorandum and building consent/building consent] [delete which is not applicable] for the building work described in this application

Nelson Bell

Signature of [owner/agent on behalf of and with the authority of the owner]

N. Bell

Date:

3 April 2005

BUILDING PRACTITIONERS**Builder:**

Business/name: _____ Address: _____

Phone: _____ Mobile: _____ After hours: _____

Facsimile: _____ Registration/qualification: _____

Designer/Architect:

Business/name: _____ Address: _____

Phone: _____ Mobile: _____ After hours: _____

Facsimile: _____ Registration/qualification: _____

Plumber:

Business/name: _____ Address: _____

Phone: _____ Mobile: _____ After hours: _____

Facsimile: _____ Registration/qualification: _____

Drainlayer:

Business/name: _____ Address: _____

Phone: _____ Mobile: _____ After hours: _____

Facsimile: _____ Registration/qualification: _____

Structural Engineer:

Business/name: _____ Address: _____

Phone: _____ Mobile: _____ After hours: _____

Facsimile: _____ Registration/qualification: _____

Engineer (identify practice college):

Business/name: _____ Address: _____

Phone: _____ Mobile: _____ After hours: _____

Facsimile: _____ Registration/qualification: _____

Head Contractor/Site Manager

Business/name: _____ Address: _____

Phone: _____ Mobile: _____ After hours: _____

Facsimile: _____ Registration/qualification: _____

Other:

Business/name: _____ Address: _____

Phone: _____ Mobile: _____ After hours: _____

Facsimile: _____ Registration/qualification: _____

The building work will comply with the building code as follows: [Delete this section if this is an application for a PIM only]

Clause [which of the following clauses will be involved in the proposed building work?]	Means of compliance [refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications]	Proposed inspections [state means of inspection. Note PS4 or certification may be required]
☒ B1 Structure	☒ B1/AS2 ☐ NZS 3604 ☐ NZS 4203 ☐ NZS 4229 ☐ Other _____ [Specify]	☐ Council ☐ Engineer ☐ Other _____ [Specify]
☒ B2 Durability	☒ B2/AS1 ☐ NZS 3101 ☐ NZS 3602 ☒ NZS 3604 ☐ Other _____ [Specify]	☐ Council ☐ Engineer ☐ Other _____ [Specify]
☒ C1- 4 Fire	☒ C1/AS1 ☐ Other _____ [Specify]	☐ Council ☐ Engineer ☐ Other _____ [Specify]
☐ D1 Access Routes	☐ D1/AS1 ☐ ZS 4121 ☐ NZS 4121 ☐ Other _____ [Specify]	☐ Council ☐ Engineer ☐ Other _____ [Specify]
☐ D1 Mechanical installations for access	☐ D2/AS1 ☐ NZS 4332 ☐ EN 81 ☐ EN 115 ☐ Other _____ [Specify]	☐ Engineer ☐ Other _____ [Specify]
☒ E1 Surface water	☒ E2/AS1 ☐ AS/NZS3500.3 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☒ E2 External moisture	☐ E2/AS1 ☒ Specific design & testing	☐ Council ☐ Other _____ [Specify]
☐ E3 Internal moisture	☐ E2/AS1 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ F1 Hazardous substances etc	☐ F1/AS1 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ F2 Hazardous building materials	☐ F2/AS1 ☐ NZS 4223 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ F3 Hazardous substances	☐ F3/AS1 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ F4 Safety from falling	☐ F2/AS1 ☐ FSP Act ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ F5 Construction and demolition hazards	☐ F5/AS1 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ F6 Lighting for emergency	☐ F6/AS1 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ F7 Warning systems	☐ F7/AS1 ☐ AS/NZS 1668 ☐ NZS 4512 ☐ NZS 4515 ☐ Other _____ [Specify]	☐ Council ☐ Engineer ☐ Other _____ [Specify]
☐ F8 Signs	☐ F8/AS1 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ G1 Personal hygiene	☐ G1/AS1 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]

☐ G2 Laundering	☐ G2/AS1	☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ G3 Food preparation and prevention of contamination	☐ G3/AS1	☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ G4 Ventilation	☐ F7/AS1	☐ AS/NZS 1668.2 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ G5 Interior environment	☐ G5/AS1	☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ G6 Airborne & impact sound	☐ G6/AS1	☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ G7 Natural light	☐ G7/AS1	☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ G8 Artificial light	☐ G8/AS1	☐ NZS 6703 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☒ G9 Electricity	☒ G9/AS1	☐ Other _____ [Specify]	By certification only
☒ G10 Piped services	☒ G10/AS1	☐ NZS 5261 ☐ Other _____ [Specify]	By certification only
☐ G11 Gas as an energy source	☐ G11/AS1	☐ Other _____ [Specify]	By certification only
☒ G12 Water supplies	☒ G12/AS1	☐ AS/NZS 3500.1 ☐ AS/NZS 3500.4 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ G13 Foul water	☐ G13/AS1	☐ AS/NZS 3500.2 BS 5572 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ G14 Industrial liquid waste	☐ G14/AS1	☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ G15 Solid waste	☐ G15/AS1	☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]
☐ H1 Energy efficiency	☐ H1/AS1	☐ NZS 4218 ☐ NZS 4243 ☐ ALF Design Manual ☐ NZS 4214 ☐ Other _____ [Specify]	☐ Council ☐ Other _____ [Specify]

[illegible]



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952

Search Copy



R.W. Muir
Registrar-General
of Land

Identifier SA70A/686
Land Registration District South Auckland
Date Issued 31 May 2002

Prior References
SA1291/60

Estate	Fee Simple
Area	481 square metres more or less
Legal Description	Lot 4 Deposited Plan South Auckland 88642

Proprietors
Trevor Robert Reynolds and Dianne Reynolds

Interests

Fencing Agreement in Transfer S117726 - 22.2.1957

Subject to a right to drain sewage over part marked D on DPS 88642 specified in Easement Certificate 5237989.6 - 31.5.2002 at 11:49 am

The easements specified in Easement Certificate 5237989.6 are subject to Section 243 (a) Resource Management Act 1991

Search Copy Dated 8/08/05 8:11 am, Page 2 of 2

Document Set ID: 669109
Version: 1, Version Date: 15/09/2010

AGREEMENT FOR SALE AND PURCHASE OF REAL ESTATE

This form is approved by the Real Estate Institute of New Zealand and by the Auckland District Law Society.

DATE: 2nd June 2005

VENDOR: Trevor Robert Reynolds and Dianne Reynolds

PURCHASER: Nelson Matthew Bell

PROPERTY

Address of property: 85A Western Road, Ngongotaha, Rotorua

Estate: FEE SIMPLE LEASEHOLD CROSSLEASE UNIT TITLE (if none is deleted fee simple)

Legal Description:

Area: 481 sq. m.

Lot: 4

DP: 88642

CT:

PURCHASE PRICE

Purchase Price: \$ 55,000.00

(Fifty five thousand dollars)

Plus GST (if any) OR Inclusive of GST (if any).

If neither is deleted the purchase price includes GST (if any).

GST date: (refer clause 12)

Deposit: (refer clause 2) \$ 500.00

Paid to Vendor

Balance of purchase price to be paid or satisfied as follows: By bank cheque within seven days of permission being granted by the Rotorua District Council. See Further Terms of Sale.

JULY 1900

POSSESSION (refer clause 3)

Possession date: On settlement

Interest rate for late settlement: — % p.a.

CONDITIONS (refer clause 8) See Further Terms of Sale

Financial condition (if any):

Lender:

LIM required: Yes/No

Amount required:

OIA Consent required: Yes/No

Finance date:

Land Act/OIA date:

PIM / BC

P0030306

TENANCIES (if any)

Name of tenant:

Vacant Possession

Bond:

Rent:

Term:

Right of renewal:

CHATELS

n/a

The following chattels if now situated on the property are included in the sale.

(strike out or add as applicable):

STOVE

TV AERIALS

FIXED FLOOR COVERINGS

BLINDS

CURTAINS

DRAPES

TELEPHONES

LIGHT FITTINGS

Sale by (name of real estate agent):

It is agreed that the vendor sells and the purchaser purchases the above described property, and the chattels included in the sale, on the terms set out above, and the General and Further Terms of Sale

DR. n/

FURTHER TERMS OF SALE

The purchasers agree to apply for permission from the Rotuma District Council to relocate their cottage currently situated at 128 Oceanview Road MH Mangani to 85A Western Road Ngungutaha, Rotuma, at their earliest possible convenience.

If permission is not granted by the Rotuma District Council by 31/12/2005, continuation of this sale and purchase agreement is by mutual consent between the vendor and the purchaser.

If the sale and purchase is not completed the deposit is to be refunded to the purchaser.

The parties hereto acknowledge that this agreement may be signed in two or more counterparts each of which may be a facsimile copy and which shall be deemed to be an original but together shall constitute the same instrument and shall be binding on the parties and the parties further acknowledge that the general conditions of sale contained in the New Zealand Real Estate Institute and New Zealand Law Society Form (7th edition) shall form part of this agreement.

PIM / BC
#0030306

WARNINGS (These warnings do not form part of this agreement)

1. This is a binding contract. **Read the information set out on the back page before signing.**
2. If the property is vacant land which is part of a Head Title, subdivided by cross lease, then it is essential that the Auction District Law Society and Real Estate Institute of New Zealand clauses for Staged Development Work are included in the agreement.

Signature of vendor(s)

[Signature]

[Signature]

Signature of purchaser(s)

[Signature]

File No: 37-04-001

Doc No: OW-13507

Rotorua District Council
1061 Haupapa Street
Private Bag 3029
Rotorua, New Zealand
Phone: 07 348 4199
Fax: 07 348 3143
Email mail@rdc.govt.nz
Website: www.rdc.govt.nz

**TO: ALL BUILDING OWNERS &
BUILDING CONTRACTORS**

DEFINITION OF BOUNDARIES

This is to confirm that in all instances of undertaking building work which is outside the original footprint of an existing building, it is a requirement of every Building Consent, and in particular the First Footing Inspection that the owner of the property identifies the boundaries of the property.

Identifying means finding and exposing the boundary pegs or, alternatively, at least having the boundaries redefined by a Registered Surveyor.

Please note that failure to undertake this work will probably result in the Building Officer being unable to undertake the first inspection because he cannot determine where the boundaries to the property are located.

Help us to help you.

Ensure that this is undertaken before the First Inspection.


Pat Lawrence
Building Control Manager

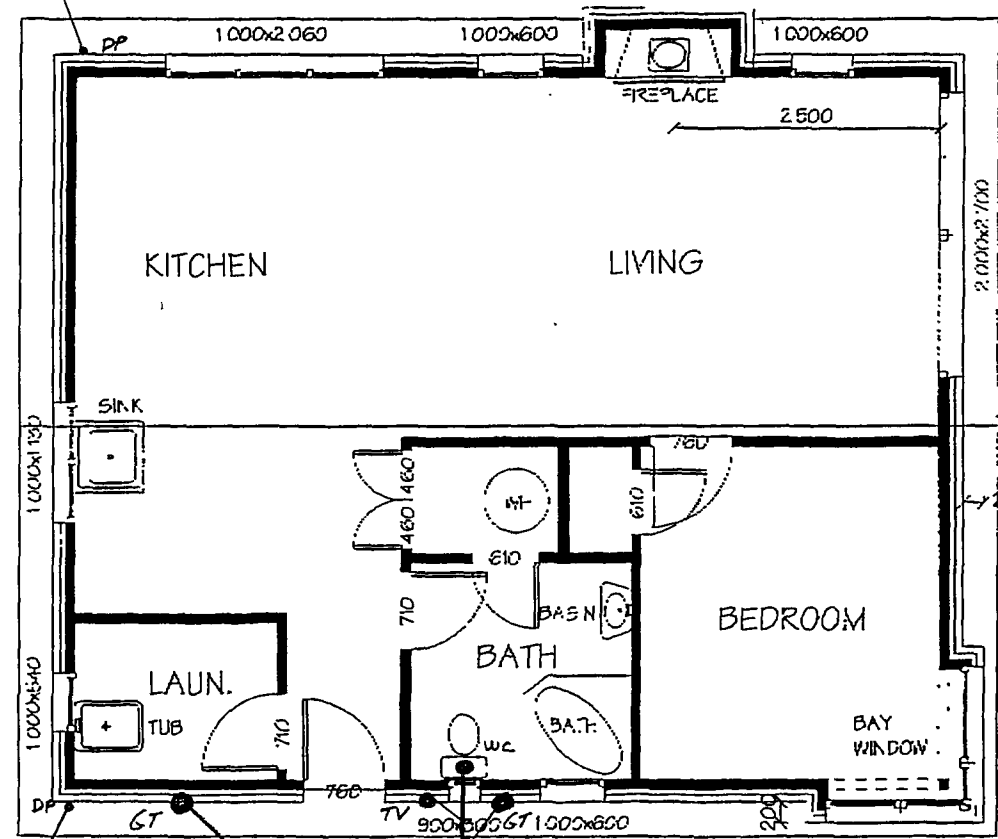
PIM / BC
№ 0 0 3 0 3 0 0

Received 19-8-5

PIM / BC
B0030306

85 A Western Road, Ngongotaha
Lot 14 DPS 88642
SC 30306
P 29891
N & J Bell

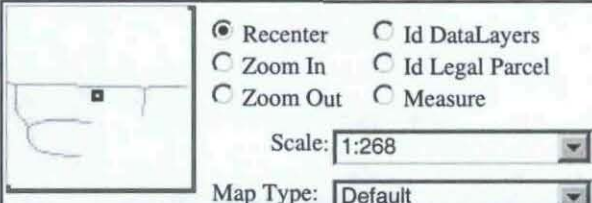
Sook hole 600 x 2 Deep



Sewage Drain

RDC Connection

Sook hole
600 x 2 deep





Copyright Potomac District Council



Parcel results

- ☐ Legal Parcel - File: 29891 (LOT 4 DPS i
- ☒ 85A Western Road, Ngongotaha, F
- ☒ Legal description: LOT 4 DPS 8864;
- ☒ Sue: 6564708
- ☒ Header_Id:79585
- ☒ District Plan Zone: Residential B (Lc
- ☒ Generate parcel map...
- ☒ Display legal parcel....
- ☒ Open occupancies on this parcel in
- ☒ Historic Rating - File: N/A
- ☒ Rating Parcel - File: 29891 (85A W
- ☒ Historic Legal - File: N/A (Lot 14 D
- ☐ Rating Parcel - File: 29891 (85A Weste
- ☐ Historic Subdivision Parcel - File: 2989;
- ☐ Definitions of terms used
- ☐ Data as at 2005-08-05 01:31

PIM / BC
00030306

\$731.00

Please Note:

A plumbing and draining plan will be submitted personally by a Redwa drainlayer subsequent to this file being posted.

Please add that, to this file when received.

Regards

Nelson Bell.

PIM / BC
20030506

FAXED 25/08/05

85A Western Road

Attention: PR Lawrence

Building Control Manager
Rotorua District Council
Private Bag 3029
Rotorua

25 August 2005

Ref: File No: P29891

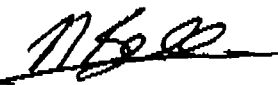
ROTORUA DISTRICT COUNCIL	
Referred to	P. Lawrence
Rec'd	25 AUG 2005
Copy to:	
Instructions:	

Further to your letter of 18 August 2005 we respond as follows:

1. The size of the anchor pile holes will be 900mm depth, x 350mm x 350mm.
- ? 2. Footings for the open fire place will be 500mm depth, x 800mm x 800mm, x 1800mm² see attach FAX
3. Please note there are no new openings planned for the building.
4. No deck over one metre in height is planned for this building.
5. All repair work stated in the re-site report will be completed after the building is re-sited at 85A Western Road.
6. Drainage plans have been submitted by Graham Jamieson on 18th August 2005.

We trust this is all the information you require at this stage.

Yours sincerely



Nelson Bell
PO Box 4580
Mt Maunganui

PIM / BC
P0030306

P29891
I-133484**Attention: Mr Colin Wiggins**

Rotorua District Council
Private Bag 3029
Rotorua

Fax No: 07 3463143

31 August 2005

ROTORUA DISTRICT COUNCIL	
Referred to:	C. Wiggins
Rec'd	1 - SEP 2005
Copy to:	
Instructions:	

Dear Mr Wiggins

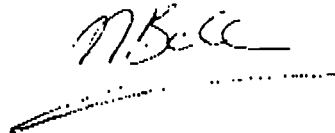
Ref: File No: P29891

Further to our telephone conversation of today I wish to confirm the dimensions for the fireplace footing as follows:

500mm x 800mm x 1800mm with grid pattern D12 bar @ 300 centres.

We trust this meets your requirements.

Yours sincerely
Nelson Bell
Po Box 4580
Mt Maunganui



COUNCIL FILE SEARCH

NOTE: A council file search was not requested

COMMENTS / RECOMMENDATIONS

GENERAL

The dwelling that this report was requested for is a single storey, free standing home with a single car detached garage. The dwelling consists of an open plan kitchen/dining/living room area, bedroom, bathroom/toilet, and laundry room.

The dwelling is currently situated on a near level site and the main construction elements include concrete ring foundation with concrete in ground piles and timber piles above, timber sub floor with tongue and groove flooring, stucco solid plaster cladding, timber framing, timber & aluminium joinery and a simple envelope corrugated iron roof.

At the front and attached to the majority of one side of the dwelling is a timber deck with a simple framed timber pergola above. To the rear of this deck, the back door entrance area has been enclosed, forming a small room, using fibro cement sheeting with no alteration to the original roof envelope.

There is a concrete/plastered chimney on the opposing side of the dwelling while in kitchen room area is a coal range encased by a mortared brick arched hearth.

The focus of this inspection was to assess the overall condition of the building and its components along with checking the structural integrity and general soundness for it to be uplifted and transported to another site.

While it appears the dwelling has not been inhabited for a period and some repairs and maintenance will be required, the overall integrity of the building appears sound and well constructed.

16 June 2005

Vista Pacific Ltd
PO Box 4580
Mount Maunganui

Dear Nelson and Judith,

PROPERTY REPORT – 128 Oceanview Road Mount Maunganui.

Thank you for choosing the **Building Advisory Bureau NZ Ltd (BAB)** to inspect this property for you.

The report details the findings of the full internal and external building inspection performed, which checks all accessible building components and provides recommendations for items that require monitoring, repair and maintenance.

To make this report easy to follow, we have listed all of the key areas of concerns in the 'Comments / Recommendations' section.

To safeguard your investment, we would like to bring to your attention BAB's House Check Programme. This involves performing subsequent inspections, (at agreed time intervals), of this property to identify any future faults or problems before they escalate and become costly to repair.

Much the same as service records help achieve premium prices for cars, your BAB House Check Programme will be very useful to show prospective purchasers your homes 'service record' when it comes time to sell.

If you have any queries relating to this report, or you would like us to perform an inspection for a future house purchase or sale, please do not hesitate to contact **Building Advisory Bureau NZ Ltd**.

We trust this report will assist you in your decision making process for this property.

Regards



Ken Buckley
MANAGING DIRECTOR

NOTE: This report is not valid unless the standard Building Advisory Bureau NZ Limited disclaimer is attached and is subject to the conditions contained in the disclaimer.

10030300

With the necessary removal of the chimney, deck, and rear entrance room, along with the addition of any extra bracing as required, the dwelling should prove a relative straight forward undertaking to remove and transport to a new location.

NOTE: A visual inspection only of the property was undertaken. The report has taken into account the age of the property and made comment on the condition of building related components on the day of this inspection.

EXTERIOR ITEMS REQUIRING REPAIR / MAINTENANCE

MINOR NOTES:

- See report checklist for minor items requiring repair or maintenance
Recommendation: engage a qualified tradesperson to repair as required

TIMBER DECK:

- Noted, hand rail does not comply and is decaying. All decks over 1 m above the ground require hand rails 1 m high and railings
Recommendation: replace hand rail as required. Today's regulation state that any hand rails upgraded must be no lower than 1m in height and the vertical rail balustrade spacings be no wider than 100mm..

GENERAL / OBSERVATIONS:

- As noted in the checklist section of this report a number of cosmetic aspects of the dwelling are due for an upgrade. It would be envisioned the majority of this work would be completed as part of the reinstatement of the dwelling at its new location.

INTERIOR ITEMS REQUIRING REPAIR / MAINTENANCE
--

MINOR NOTES:

- See report checklist for minor items requiring repair or maintenance
Recommendation: engage a qualified tradesperson to repair as required

INTERNAL MOISTURE TEST:

- An internal surface moisture test (on gib board) was performed around windows and doors (using a **Protimeter Surveymaster SM** moisture meter) - readings were of an acceptable level (up to 20%) unless otherwise noted. **Further investigation is recommended where levels of 20% moisture content and above are noted.** The results are a guide only and do not totally guarantee that the timber directly below the area tested is not decayed or damp, as this requires the removal of internal or external linings.
- Note, moisture readings are recorded on the checklist. The readings recorded are the highest taken for each room.

FOLLOW UP INSPECTION

BAB are able to provide a follow-up inspection to check any items that have been highlighted in this report once repairs have been undertaken.

ADDITIONAL COPIES OF INSPECTION REPORTS:

These are available to the original client at a cost of \$30.00 plus GST. The addition copies would not include any files or plans obtained from the council unless addition copies are ordered at the time of initial inspection request.

Email copies are free of any charges and would not include council file papers.

FURTHER INSPECTIONS

WIRING, PLUMBING, DRAINAGE, HEATING, STRUCTURE, ASBESTOS & GEOTECHNICAL:

The overall condition of the wiring, plumbing / drainage, heating, structure (unless otherwise mentioned) appeared in an acceptable condition from the areas that were clearly visible. It should be noted that our inspector is not qualified to provide expert opinion on these components or on the presence of asbestos. This would be required by a suitably qualified professional.

BAB can refer you to reputable contractors/companies as required.

13:09 June 16, 2005

GENERAL INFORMATION

Company Name Building Advisory Bureau Ltd (BAB)

Company Address 48 Ninth Avenue

City Tauranga Province/State Bay of Plenty Country New Zealand

PROPERTY ADDRESS

Property Address: 128 Oceanview Road City: Mount Maunganui

INSPECTION CONDITIONS

Inspection Number: BOP 266

Inspector Name: Ken Buckley

Method of Supplying Report: Post

Client On-Site Consultation ? ☒ Yes ☐ No

Inspection Date: 16 June 2005

Time of Inspection: 8.30 AM

Electricity On: ☒ Yes ☐ No

Weather: Fine

Soil Conditions: Dry

Type of Inspection: Pre removal report

Client:

BOP 266 128 Oceanview Road Mt M

13:09 June 16, 2005

ROOF

A = Acceptable - Functional with no obvious signs of defect.

NP = Not Present - Item not present or not found.

NI = Not Inspected - Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.

M = Marginal - Item is not fully functional and requires repair or servicing.

D = Defective - Item needs immediate repair or replacement. It is unable to perform its intended function.

A NP NI M D

Main house Roof Surface☒ ☐ ☐ ☐ ☐**Material: Corrugated Iron - Notes, some small areas of surface rust on ridge flashing.****Recommend careful preparation and application of inhibitor, primer and good quality roof paint to improve roof durability and weather protection.****Method of Inspection: On roof****Fascia: Timber - Paint peeling - paint as required**☒ ☐ ☐ ☐ ☐**Soffit Condition: Hardisheets****Roof Fixtures**☒ ☐ ☐ ☐ ☐**Roof Vent: Hot Water**☐ ☐ ☒ ☐ ☐**TV Aerial: Some parts of the antenna are loose and require re tightening/replacement**☐ ☒ ☐ ☐ ☐**Skylight (s) Condition:**☒ ☐ ☐ ☐ ☐**Chimney: Plastered**

PLUMBING & DRAINAGE

The overall condition of the plumbing and drainage (unless otherwise mentioned) appeared in an acceptable condition from the areas that were clearly visible.

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A NP NI M D

☒ ☐ ☐ ☐ ☐**Guttering: PVC - No gutter or down pipe present on northwestern side of dwelling. Recommend replacement/repair as required.**☒ ☐ ☐ ☐ ☐**Downpipes: PVC****Are All Downpipes Connected to Soakhole/Stormwater?: No****Unconnected Downpipe Location: Unconnected Downpipe Location:****Are All Gully Traps 60mm Above Ground Level?: Yes****Location of Low Gully Trap: N/A Location of Low Gully Trap:**☒ ☐ ☐ ☐ ☐**Soakhole / Stormwater Connection:**

EXTERIOR

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A NP NI M D

Client:

BOP 266 128 Oeanview Road Mt M

13:09 June 16, 2005

EXTERIOR (continued)

- ☒ ☐ ☐ ☐ ☐ Cladding Type: Solid Plaster / Stucco
☒ ☐ ☐ ☐ ☐ Cladding Type: Fibrolite Shingles
☒ ☐ ☐ ☐ ☐ Are Cladding Penetrations Sealed Effectively?: Yes
☒ ☐ ☐ ☐ ☐ Is Electrical Meterboard Secure?: Yes

Joinery

- ☒ ☐ ☐ ☐ ☐ Joinery Type: Aluminum and timber - Paint peeling/cracking on exterior timber sashes- repair and re-paint as required, Exterior bay-window mitres are identified as potential risk areas towards weather tight detail-monitor/ensure regular checks on junctions/mitres for a watertight seal.
 Head Flashings / Window Sealant: ☒ Yes ☐ No
 General Note: Maintain regular checks on all timber joinery and sashes

DECKS / PATIO / PERGOLA

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A NP NI M D

Front entry Deck / Patio

- ☒ ☐ ☐ ☐ ☐ Deck Type: Timber
 Acceptable clearance between finished deck/patio and internal floor level (Min 60mm): ☒ Yes ☐ No
 Deck structure over 1 metre From Ground?: ☒ Yes ☐ No

NOTE: If the structure is over 1 metre at any given point a building permit is required. Check council records to ensure this has been approved and signed off. The deck structure will also require a handrail.

Deck Wall / Handrails: ☒ Yes ☐ No

- ☐ ☐ ☐ ☐ ☒ Type of deck wall / handrails: Balustrade and timber handrail - Noted, timber decay to handrail and overall condition of balustrade/handrail is poor.

Above deck Pergola

- ☒ ☐ ☐ ☐ ☐ Type of Pergola: Timber
 Is Pergola Roofed? ☐ Yes ☒ No
 NOTE: If the pergola is roofed it requires a building permit (check council files).
☒ ☐ ☐ ☐ ☐ Check Method of Fixing: Fitted directly to the exterior cladding - although common any fixing not sealed are evident moisture penetration risk areas.

GROUNDS / FENCING

The overall condition of the site appeared in an acceptable condition based on what was clearly visible. Historical information regarding land stability and any relevant land features would be available by contacting the local regional authority.

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A NP NI M D

Driveway: Pavers**Notes****Client:****BOP 266 128 Oeanview Road Mt M**

13:09 June 16, 2005

GROUND / FENCING (continued)

- ☒ ☐ ☐ ☐ ☐ Steps: Timber leading to deck
☐ ☒ ☐ ☐ ☐ Retaining Wall:
 Over 1.5 Mete at Any Given Point?: ☒ Yes ☐ No
☒ ☐ ☐ ☐ ☐ Fence: Timber pailing
☐ ☒ ☐ ☐ ☐ Gate:

FOUNDATIONS

The overall structural condition (unless otherwise mentioned) appeared in an acceptable condition from the areas that were clearly visible only.

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A NP NI M D

- ☒ ☐ ☐ ☐ ☐ Foundation Type: Concrete ring foundation with timber substructure with piles
☒ ☐ ☐ ☐ ☐ Sub Floor: Timber with timber and concrete piles
☒ ☐ ☐ ☐ ☐ Ventilation: Good
 Insulation: NIL
☒ ☐ ☐ ☐ ☐ Flooring: Tongue & groove timber
 Method of Inspection: Beneath floor
☒ ☐ ☐ ☐ ☐ Condition of Ground: Dry

Client:

BOP 266 128 Oeanview Road Mt M

13:09 June 16, 2005

ROOFSpace

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A NP NI M D

Main roof Roofspace

Method of Inspection: From the access point

☒ ☐ ☐ ☐ ☐ General Condition: Dry☒ ☐ ☐ ☐ ☐ Underlay: Building paper☒ ☐ ☐ ☐ ☐ Type of Insulation: Insulfluff**KITCHEN**

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A NP NI M D

Kitchen room Kitchen☒ ☐ ☐ ☐ ☐ Unit condition: AverageCheck sink pipes for leaks ☒ Yes ☐ No☒ ☐ ☐ ☐ ☐ Floor Covering: Timber

APPLIANCES: Only the appearance of appliances are checked not functionality

Rangehood / Extractor Fan: ☐ Yes ☒ No

NOTE: If rangehood / extractor fans vents directly into roofspace, install a ducting kit so that extractor fan vents externally to reduce steam/moisture build up in roofspace

MOISTURE TEST %: 18% ACCEPTABLE

LIVING SPACE

A = Acceptable - Functional with no obvious signs of defect.

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D = Defective - Item needs immediate repair or replacement. It is unable to perform its intended function.

A NP NI M D

Lounge/dining Living Space☒ ☐ ☐ ☐ ☐ General Condition: Dining area

NOTE: We can only check the areas that can be easily seen and are not covered with household items.

MOISTURE TEST %: 20% ACCEPTABLE (Maximum limit)

Lounge/dining Living Space☒ ☐ ☐ ☐ ☐ General Condition: Lounge

NOTE: We can only check the areas that can be easily seen and are not covered with household items.

MOISTURE TEST %: 20% ACCEPTABLE (Maximum limit)

Client:

BOP 266 128 Oeanview Road Mt M

13:09 June 16, 2005

BATHROOM

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A NP NI M D

Hallway area Bathroom

- ☒ ☐ ☐ ☐ ☐ Bath: Fiberglass
- ☒ ☐ ☐ ☐ ☐ Bath Surround: Gib board
- ☒ ☐ ☐ ☐ ☐ Toilet: Ideal Standard
- ☒ ☐ ☐ ☐ ☐ Shower: Shower over bath
- ☒ ☐ ☐ ☐ ☐ Sink/Basin/Vanity: Basin with cabinet
- ☒ ☐ ☐ ☐ ☐ Floor Covering: Timber
- ☐ ☒ ☐ ☐ ☐ Extractor Fan:

Is unit vented externally ? ☐ Yes ☒ No

NOTE: If extractor fan vents directly into roofspace, install a ducting kit so that extractor fan vents externally to reduce steam/moisture build up in roofspace

☐ ☐ ☒ ☐ ☐ Powerpoints:

NOTE: We can only list and check the number of powerpoints that can be easily seen. We cannot check or identify any powerpoints that are covered by furniture or other large objects on the day of this inspection.

MOISTURE TEST %: 20% ACCEPTABLE (Maximum limit)**Bathroom**

- ☐ ☐ ☐ ☐ ☐ Bath:
- ☐ ☐ ☐ ☐ ☐ Door/Curtain/Screen:
- ☐ ☐ ☐ ☐ ☐ Bath Surround:
- ☐ ☐ ☐ ☐ ☐ Toilet:
- ☐ ☐ ☐ ☐ ☐ Shower:
- ☐ ☐ ☐ ☐ ☐ Sink/Basin/Vanity:
- ☐ ☐ ☐ ☐ ☐ Floor Covering:
- ☐ ☐ ☐ ☐ ☐ Extractor Fan:

NOTE: If extractor fan vents directly into roofspace, install a ducting kit so that extractor fan vents externally to reduce steam/moisture build up in roofspace

☐ ☐ ☐ ☐ ☐ Powerpoints:

NOTE: We can only list and check the number of powerpoints that can be easily seen. We cannot check or identify any powerpoints that are covered by furniture or other large objects on the day of this inspection.

MOISTURE TEST %:**Bathroom**

- ☐ ☐ ☐ ☐ ☐ Bath:
- ☐ ☐ ☐ ☐ ☐ Door/Curtain/Screen:
- ☐ ☐ ☐ ☐ ☐ Bath Surround:
- ☐ ☐ ☐ ☐ ☐ Toilet:
- ☐ ☐ ☐ ☐ ☐ Shower:
- ☐ ☐ ☐ ☐ ☐ Sink/Basin/Vanity:
- ☐ ☐ ☐ ☐ ☐ Floor Covering:
- ☐ ☐ ☐ ☐ ☐ Extractor Fan:

NOTE: If extractor fan vents directly into roofspace, install a ducting kit so that extractor fan vents externally to reduce steam/moisture build up in roofspace

☐ ☐ ☐ ☐ ☐ Powerpoints:

Client:

BOP 266 128 Oeanview Road Mt M

13:09 June 16, 2005

BATHROOM (continued)

NOTE: We can only list and check the number of powerpoints that can be easily seen. We cannot check or identify any powerpoints that are covered by furniture or other large objects on the day of this inspection.
MOISTURE TEST %:

BEDROOM

A = Acceptable - Functional with no obvious signs of defect.

NP = Not Present - Item not present or not found.

NI = Not Inspected - Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.

M = Marginal - Item is not fully functional and requires repair or servicing.

D = Defective - Item needs immediate repair or replacement. It is unable to perform its intended function.

A NP NI M D

Near Lounge room Bedroom

☒ ☐ ☐ ☐ ☐ Bedroom number: #1 - Noted, high moisture reading recorded at left hand/corner of bay window sill.

NOTE: We can only check the areas that can be easily seen and are not covered by household items.

MOISTURE TEST %: 41% AND OVER NOT ACCEPTABLE

ELECTRICAL

The overall condition of the wiring (unless otherwise mentioned) appeared in an acceptable condition from the areas that were clearly visible. It should be noted that our inspector is not qualified to provide expert opinion on these components. This would be required by a suitably qualified electrician.

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M = Marginal - Item is not fully functional and requires repair or servicing.

D = Defective - Item needs immediate repair or replacement. It is unable to perform its intended function.

A NP NI M D

☒ ☐ ☐ ☐ ☐ Switchboard Location: Kitchen

☐ ☒ ☐ ☐ ☐ Smoke Detectors: NIL

Hot Water Cylinder

☒ ☐ ☐ ☐ ☐ HWC Type: Electric

Is Cylinder Restrained?: ☐ Yes ☒ No

Location: Bathroom

Year of Manufacture: 1972

HEATING

All heating systems should be checked by a suitably qualified professional before use and serviced annually.

A = Acceptable - Functional with no obvious signs of defect.

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M = Marginal - Item is not fully functional and requires repair or servicing.

D = Defective - Item needs immediate repair or replacement. It is unable to perform its intended function.

A NP NI M D

Kitchen room Heating System

Client:

BOP 266 128 Oeanview Road Mt M

13:09 June 16, 2005

GARAGE

A = Acceptable - Functional with no obvious signs of defect.

NP = Not Present - Item not present or not found.

NI = Not Inspected - Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.

M = Marginal - Item is not fully functional and requires repair or servicing.

D = Defective - Item needs immediate repair or replacement. It is unable to perform its intended function.

A NP NI M D

Detached Garage☒ ☐ ☐ ☐ ☐**Garage Doors Roller Door**Door Opener: ☐ Yes ☒ No☐ ☒ ☐ ☐ ☐**Joinery:**

NOTE: We can only check the areas that can be easily seen and are not covered by with household items.

License Information

Inspectors Name:

License #:

Supervisors Name:

License #:

Signature:

Client:

BOP 266 128 Oeanview Road Mt M

BAB DISCLAIMER

The **Building Advisory Bureau NZ Ltd (BAB)** Property Inspection Report is based on information gathered at the time of the inspection, and is based on a visual inspection only of the building elements which could be seen easily. It does not include any item that is closed in or concealed including; flooring, walls, ceiling framing, plumbing and drainage, heating and ventilation insulation, and wiring etc.

The **Building Advisory Bureau NZ Ltd** Property Inspection Report aims to discover all defects of importance which could be reasonably discovered but cannot guarantee to have discovered ALL such defects.

The **Building Advisory Bureau NZ Ltd** Property Inspection Report is not a Land Information Memorandum and does not address planning issues under The Resource Management Act. It is strongly recommended that the purchaser consult their Solicitor and/or the local Council Authority if unclear about any issues relating to the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose, and should consult the Council and/or their Solicitor if unsure.

The **Building Advisory Bureau NZ Ltd** Property Inspection Report "Council File Search" is based on information gathered from the property file for the property being reported on.

The **Building Advisory Bureau NZ Ltd** Property Inspection Report does not include expert opinion on the structural, electrical, plumbing or gas piping and fitting, home heating condition, retaining walls, nor whether or not there is presence of asbestos as our consultants are not qualified to do so. We can arrange for these areas to be inspected by people with appropriate qualifications if so required.

The **Building Advisory Bureau NZ Ltd** may perform a random internal surface moisture test using a Protimeter Surveymaster SM moisture meter. The results are a guide only and do not guarantee that the timber directly below the area tested is necessarily damp, decayed, or otherwise. Further investigation is recommended where readings above 20% moisture content are found.

The **Building Advisory Bureau NZ Ltd** note and agree that this report does not purport to include any comment, reference or intimation on the condition of the properties structure which may have been directly, or indirectly, affected by the ingress of water resulting in mould, fungi, mildew, rot, decay, gradual deterioration, micro-organisms, bacteria, protozoa, or any similar forms. Nor do we purport to comment, refer or intimate that the building conforms to requirements of the NZ Building Code in the first schedule of Building Regulations 1992 (or amendment or substitution) in relation to external water or moisture, or durability or protection from external water or moisture entering that building or structure and the effects thereof. Sections 3, 12, & 34 make reference to areas where we may have visually observed such conditions that MAY lead to potential issues either now or in the future but does not in any way comment or intimate as to the current possible future conditions of the buildings structure.

The **Building Advisory Bureau NZ Ltd**, its employees and agents, undertake no duty of care in contract, tort or otherwise, to users of this Property Inspection Report and make no warranties or representation of any kind whatsoever in relation to any of its contents. Furthermore its employees and agents, expressly disclaims all and any liability and responsibility to any person, whether a purchaser or user of this inspection or not, in respect of anything and of the consequences of anything done, or omitted to be done, by any such person in reliance upon the whole or any part of the contents of this report.

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Lloyd & Co Ltd

Structural Design Engineers

212 14th Avenue
Tauranga
Phone & Fax (07) 578-4821
Mobile 025 290-8529

PRODUCER STATEMENT - DESIGN

TO Rotorua District Council

Date: 1 August 2005

Ref. 4569

IN RESPECT OF Relocated house

AT 85A Western Road, Ngongotaha

FOR N and J Bell

BEING LOT DPS.

Lloyd & Co Structural Design Engineers Limited, has been engaged by...
to provide engineering design services in respect of Clause B1 Structure of the Building Regulations 1992 for
the following items:
200 x 50 Bearer to support the exterior cladding.

as shown on the signed plans attached,
Titled Nelson Bell, 85 a Western Road, Ngongotaha
Prepared by Lloyd and Co Ltd

The design has been prepared in accordance with sections B1 VM1 of the Building Industry Authority
Approved Documents using the following relevant authorities and codes and/or sound engineering principles:

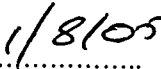
NZS 4203 General Structural Design and Design Loadings for Buildings
NZS 3603 1993 Timber Design

As an independent design professional covered by a current policy of Professional Indemnity insurance to a
minimum value of \$200,000, **I BELIEVE ON REASONABLE GROUNDS** that subject to:

- (i) the verification of the following design assumptions minimum ground bearing pressure of 100kpa
- (ii) all proprietary products meeting the performance specification requirements

all drawings, specifications and other documents according to which the building is proposed to be constructed
comply with the relevant provisions of the building code.

THIS PRODUCER STATEMENT IS VALID ONLY FOR DRAWINGS OR PRINTS COUNTERSIGNED BY
ME.

Signed  Date 
Ian Lloyd B.E. (Civil) Chartered Professional Engineer

This Producer Statement is valid for a building consent application made within one year of the date of issue.
No inspection of the site has been made and this Producer Statement does not cover the subsoil.
This Producer Statement covers only those elements listed above.
All proprietary products shall meet the performance specifications.
This Statement does not cover water tightness nor ingress of water.

PIM / BC
P0030300

Principal
Ian Lloyd
B.E.(Civil), Chartered Professional Engineer

STRUCTURAL CALCULATIONS

N BELL

85A WESTERN ROAD

NGONGOTAHA

HOUSE RELOCATION

PIM / BC
00030306

Lloyd & Co Ltd

Structural Design Engineers

212 14th Avenue
Tauranga
Phone/Fax (07) 578 4821

Client

Nelson Beal

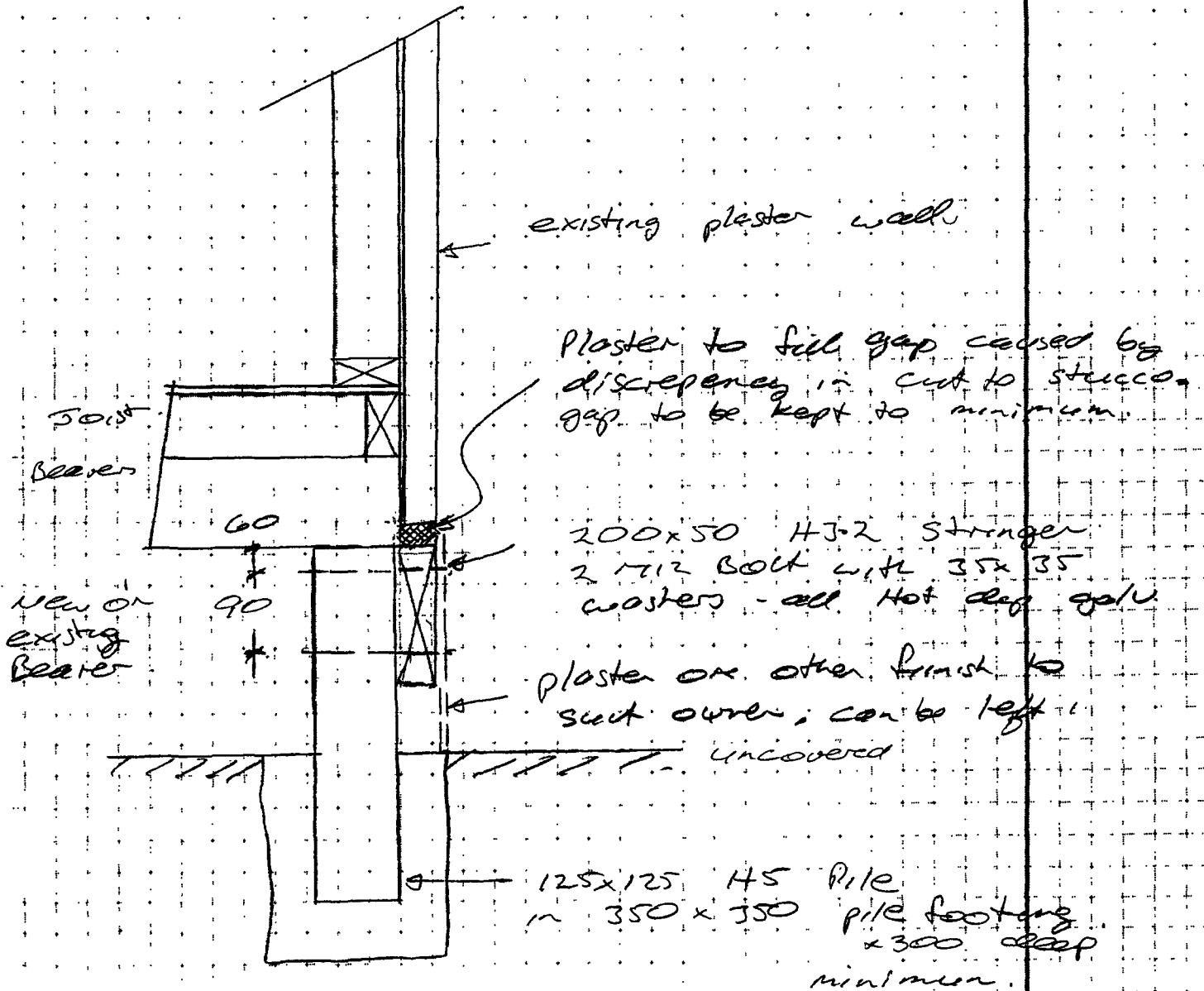
Ref 4569

Project

85A Western Road
Ngongotaha.

Date 1/8/05

Page Summary



Piles at maximum 1750 c/s

Teal
1/8/05

Lloyd & Co Ltd

Structural Design Engineers

212 14th Avenue
Tauranga
Phone/Fax (07) 578 4821

Client

Bell

Project

359 Western Road
Napua

Ref 4569

Date 1/8/05

Page

1

Design to support external cladding

Plaster
over 50mm
to 25-30mm
use 35mm 1/4 inch

$$D_c = 0.0352 \times 24 \times 2.7 = 2.3 \text{ m} \times 1.04 \text{ m} = 3.1$$

File load

$$\text{Roof load} = \frac{8}{2} \times 0.45 = 1.8$$

$$\text{Wall} = 0.7$$

$$\text{Floor} = \frac{1.8}{2} \times 0.45 = 0.4$$

$$2.9 \times 1.2 = 3.5$$

$$U(\text{roofs}) = \frac{8}{2} \times 0.25 = 1.0$$

$$\text{Roof} = \frac{1.8}{2} \times 1.5 = 1.35 \times 10 = 13.5$$

$$\frac{20}{5} = 4$$

Beaver to support cladding

Span 1300
1750

Plaster only $M = 3.6 \times 1.75^2 = 10.8$

$$150 \times 50 \text{ KCL} = 0.8 \times 177 \times 147 \times 0.6$$

$$= 10.29$$

Lloyd & Co Ltd

Structural Design Engineers

212 14th Avenue
Tauranga
Phone/Fax (07) 578 4821

Client

Ball

Project

Waste Rd
Wairoa

Ref 4569.

Date 1/8/05

Page 2

$$\Delta = \frac{5 \times (2 \times 23) \times 10.75^4}{384 \times 8 \times 10.3} = 6.8 \times 100.4$$

$$200 \times 50 \quad \Delta < 6.8 \times \frac{10.3}{21.8} = 3.2 \text{ mm}$$

$$\frac{3.2}{1750} = 16.50 \text{ mm}$$

Control over 2 BS8

$$\Delta = \frac{0.0054 \times (2 \times 23) \times 10.75^4}{8 \times 21.8} = 1.33 \text{ mm}$$

$$P_{max} \quad V = 1.75 \times 3.1 = 5.4 \text{ kN}$$

$$M_{12} \rightarrow V = 0.7 \times 6.8 \times 0.8 = 3.8 \Rightarrow 2 \text{ piles required}$$

Check pile

$$100 \text{ kN} = 1.75 \times 3.1 = 5.4$$

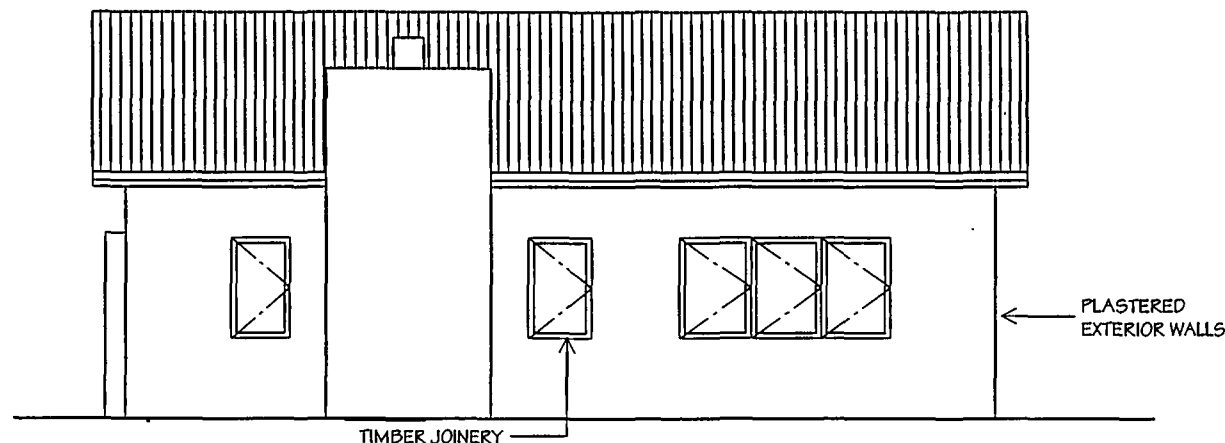
$$\text{Floor} \quad 1.35 \times 5.6 = \frac{7.55}{1.209} \text{ kN}$$

allow 120 kN ultimate (reduced)
~ 85 kN allowable

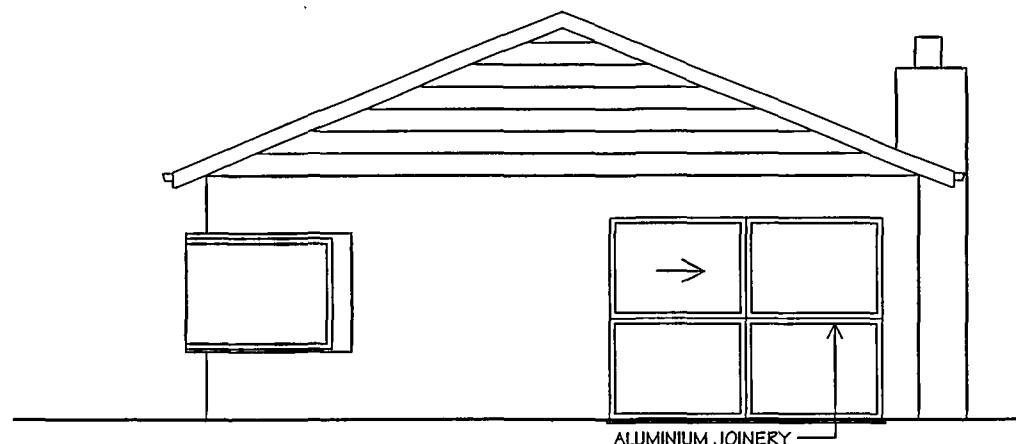
$$D_{req} = \sqrt{\frac{120}{1.209}} = 3.27$$

use 350 sq pile
to outside L.E

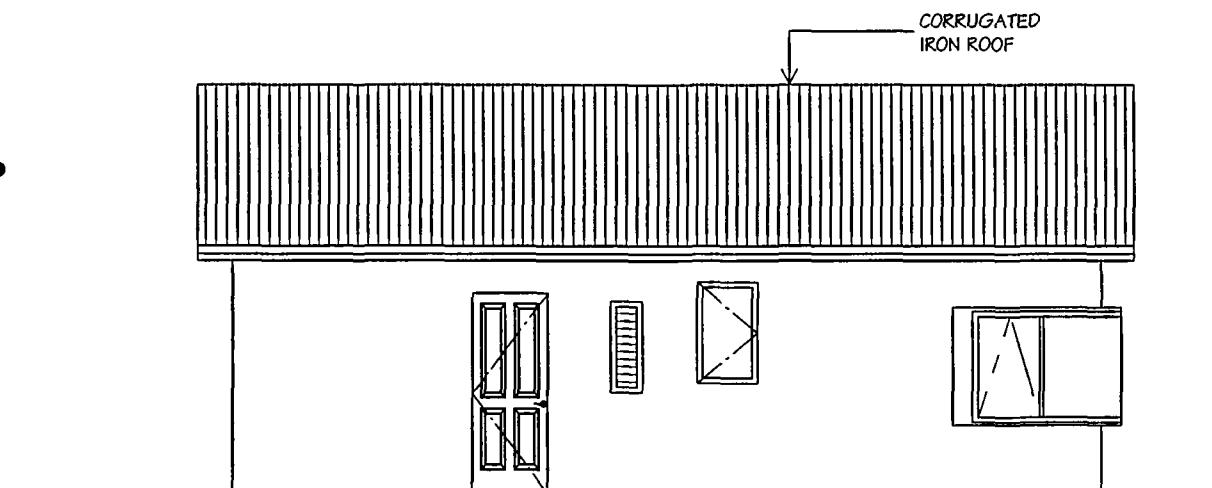
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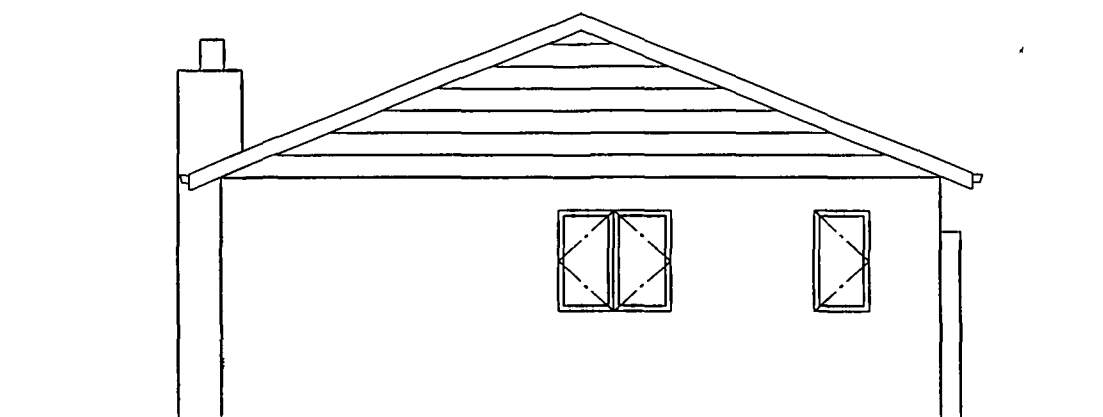
2.



3.



4.



WARNING

THIS BUILDING CONSENT IS ISSUED BUT IT IS AN OFFENCE TO COMMENCE BUILDING UNTIL ALL OTHER NECESSARY APPROVALS HAVE BEEN OBTAINED.

ALL GROUND LINES ARE INDICATIVE ONLY AND MUST BE CHECKED ON SITE

NB: FAILURE TO COMPLY WITH THIS DIRECTION PURSUANT TO SECTION 40 (2) OF THE BUILDING ACT 2004 MAY UPON SUMMARY CONVICTION, MAKE YOU LIABLE FOR A MAXIMUM FINE OF UP TO \$100,000 AND \$10,000 FOR EVERY DAY THE OFFENCE CONTINUES.

PROJECT INFORMATION MEMORANDUM
ISSUED UNDER SECTION 32 OF THE
BUILDING ACT 2004

DATE: 19.8.05 P.I.M. No: 30304

OFFICER: [Signature]

PLANS APPROVED SUBJECT TO ALL
REQUIREMENTS OF THE BUILDING
ACT 2004 BEING FULLY COMPLIED
WITH

DATE: 16.10.05 JOB TITLE: [Signature]
CONSENT No: 30306

OFFICER: [Signature] NOT No.4, DPS 88642
63a WESTERN ROAD

NGONGOTAHA

DRAWING TITLE

ELEVATIONS

SALES

DRAWN

CYRUS

CHECKED

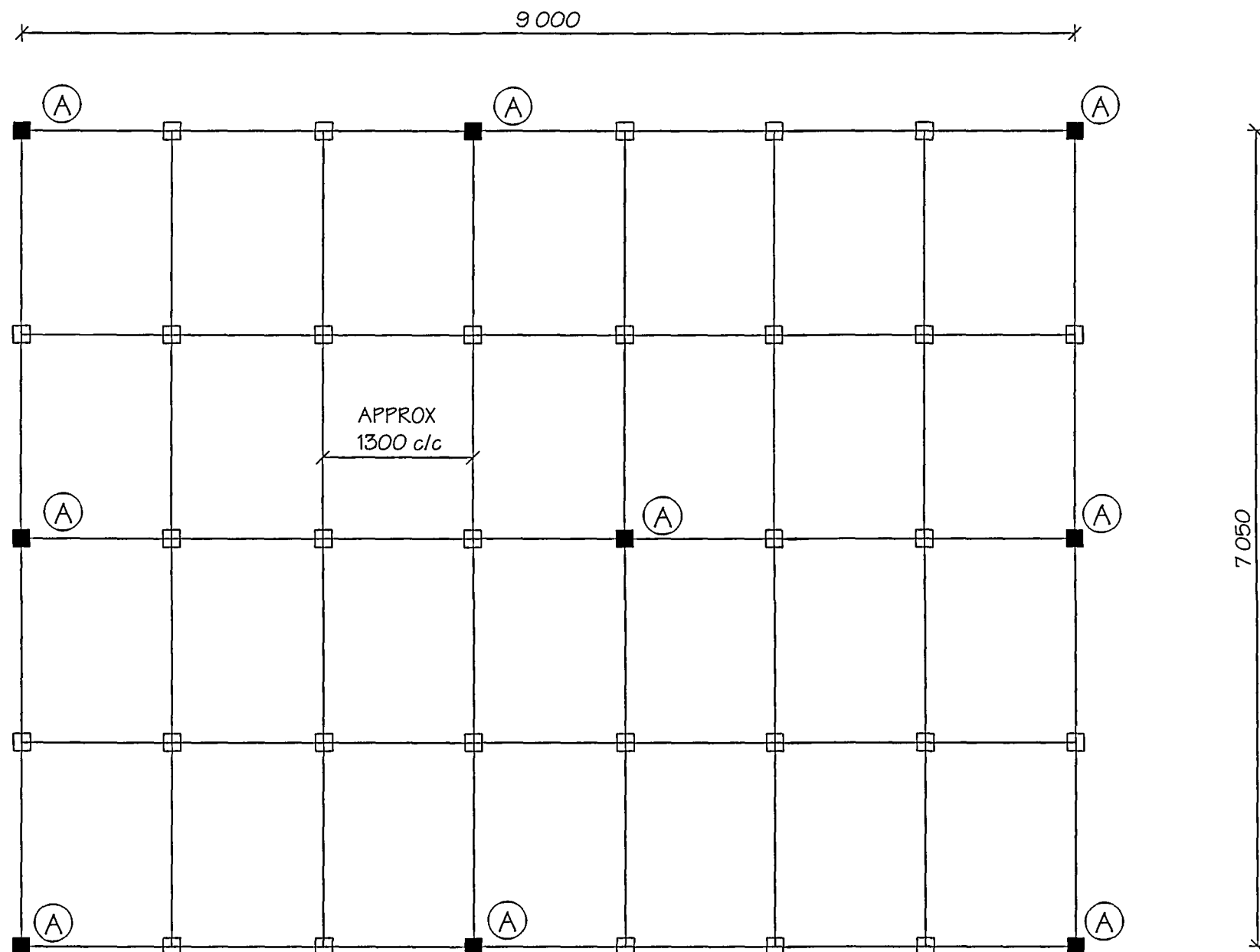
JOB No.

SHEET No. 1 OF 4

SCALE

1:75

DATE 22/07/05



CYRUS TUPORO
ARCHITECTURAL DRAUGHTSMAN
(NZDAT)

PH. 0275 484 787

NOTES

1st FAX 15-8-5

-  ANCHOR PILE
300x300x ??? *700*
-  ORDINARY PILE
300x300x300

15/07/05
00050506

THE DIMENSIONS ON THIS FOUNDATION PLAN
ARE TO BE CHECKED BY ALL TRADES PRIOR TO
COMMENCEMENT OF ANY WORKS AS THEY ARE
AN INDICATION ONLY AND HAVE BEEN SHOWN TO
HELP VERIFY EACH TRADES OWN CALCULATION
FROM THE FLOOR PLAN. THE DRAUGHTSPERSON
TAKES NO RESPONSIBILITY FOR ANY ERRORS IN
THE DIMENSIONS SHOWN.

JOB TITLE

N & J BELL
LOT No.4, DPS 88642
85a WESTERN ROAD
NGONGOTAHA

DRAWING TITLE

FOUNDATION PLAN

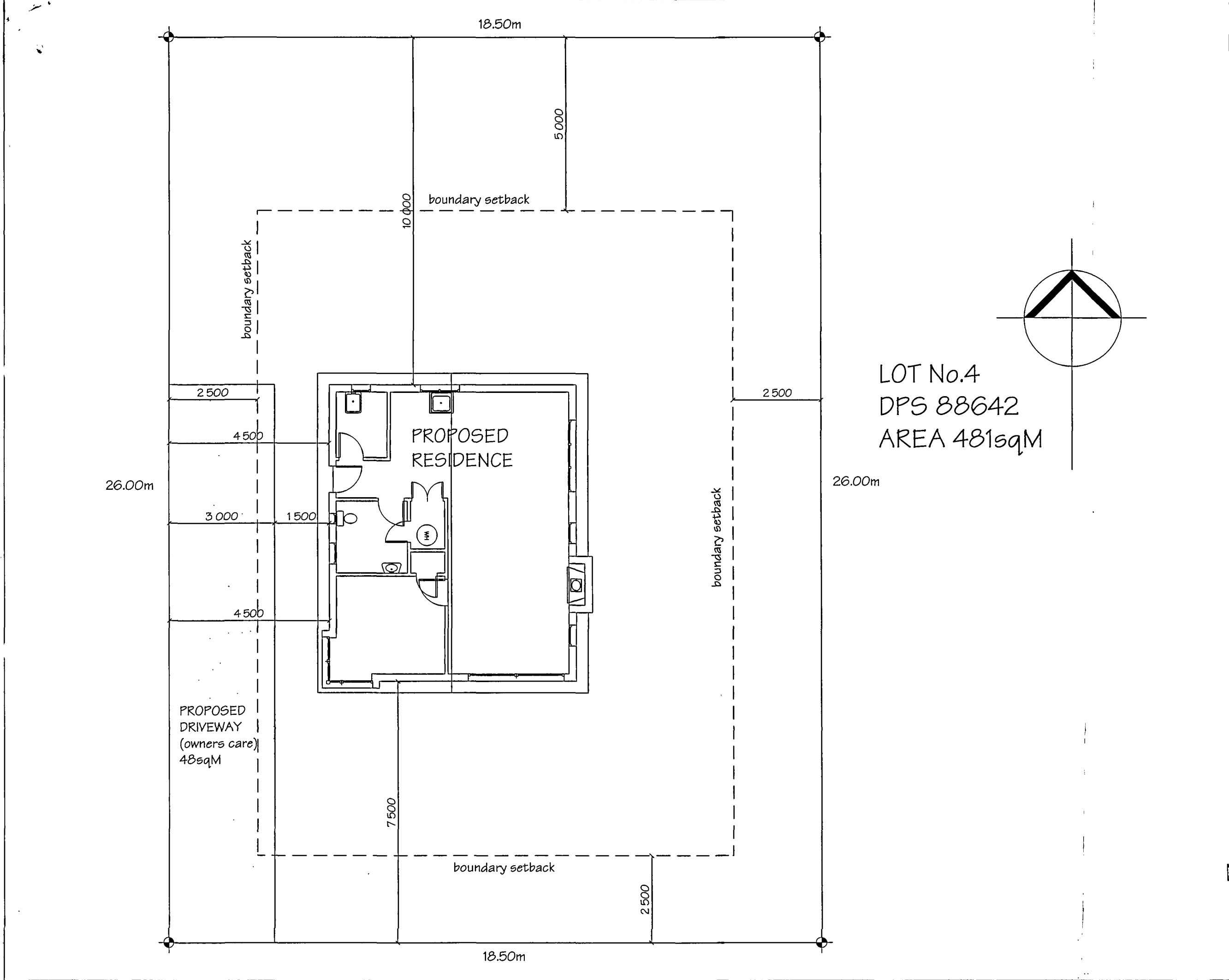
SALES

DRAWN CYRUS

CHECKED

JOB No. SHEET No. 4 OF 4

SCALE 1:50 DATE 22/07/05



CYRUS TUPORO
ARCHITECTURAL DRAUGHTSMAN
(NZDAT)

PH. 0275 484 787

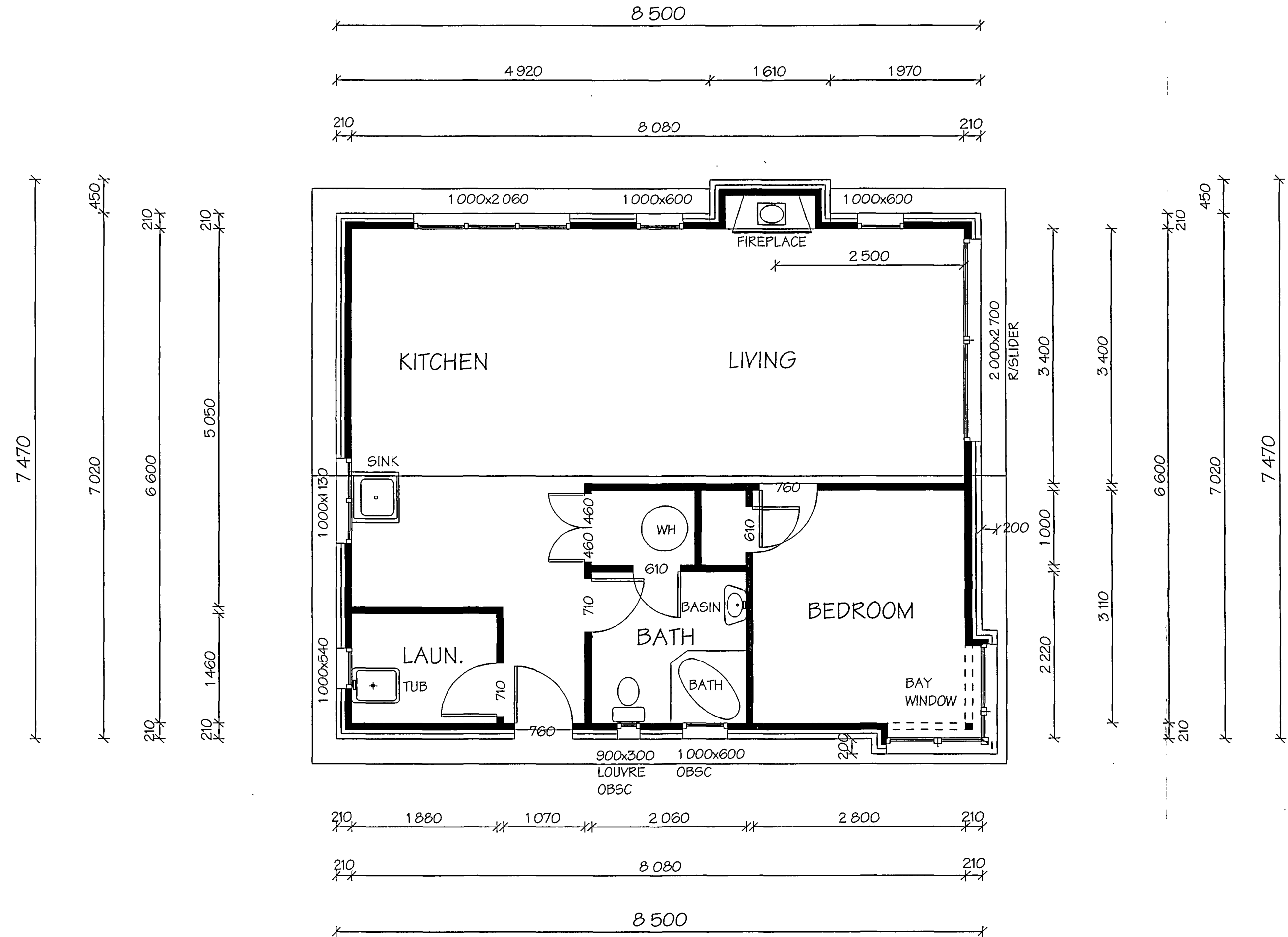
NOTES

ALL BOUNDARY BEARING, LENGTHS AND PEG LOCATIONS TO BE CONFIRMED ON SITE PRIOR TO COMMENCING FOUNDATIONS, TO ENSURE HOUSE POSITION IS CORRECT, ANY DISCREPANCIES TO BE REPORTED TO THE DRAUGHTSPERSON IMMEDIATELY

JOB TITLE
N & J BELL
LOT No.4, DPS 88642
85a WESTERN ROAD
NGONGOTAHA

DRAWING TITLE
PROPOSED SITE PLAN
120030500

SALES	
DRAWN	CYRUS
CHECKED	
JOB No.	SHEET No. 2 OF 4
SCALE 1:50	DATE 22/07/05



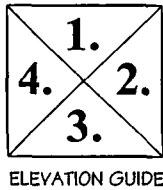
CYRUS TUPORO
ARCHITECTURAL DRAUGHTSMAN
(NZDAT)

PH. 0275 484 787

NOTES

90x45 TIMBER FRAME

THE DIMENSIONS ON THIS FLOOR PLAN ARE TO BE CHECKED BY ALL TRADES PRIOR TO COMMENCEMENT OF ANY WORKS AS THEY ARE AN INDICATION ONLY AND HAVE BEEN SHOWN TO HELP VERIFY EACH TRADES OWN CALCULATION FROM THE FLOOR PLAN. THE DRAUGHTSPERSON TAKES NO RESPONSIBILITY FOR ANY ERRORS IN THE DIMENSIONS SHOWN.



JOB TITLE
N & J BELL
LOT No.4, DPS 88642
85a WESTERN ROAD
NGONGOTAHA

DRAWING TITLE
FLOOR PLAN

SALES	
DRAWN CYRUS	
CHECKED	
JOB No.	SHEET No. 3 OF 4
SCALE 1:50	DATE 22/07/05

	Building Consent File – End Cover	Ref: TP 03 – TF 03
		Ver: 01
		Issued: 30 May 2007
		Doc No: IT-639930
		1 of 1

END OF BUILDING CONSENT FILE

BC No. 30306